



Haines Borough Planning Commission Regular Meeting Agenda

COMMISSIONERS:

ROB GOLDBERG, CHAIR
LEE HEINMILLER, VICE-CHAIR
ROBERT VENABLES
HEATHER LENDE
DON TURNER III
BRENDA JOSEPHSON
ROB MILLER

Thursday, October 15, 2015 - 6:30 p.m.

Assembly Chambers, 213 Haines Hwy.

1. CALL TO ORDER / PLEDGE TO THE FLAG
2. ROLL CALL
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES: September 10, 2015
5. PUBLIC COMMENTS [Items not scheduled for public hearing]
6. CHAIRMAN'S REPORT
7. STAFF REPORT
 - A. Planning & Zoning Report
8. PUBLIC HEARINGS:
 - A. **Haines Animal Rescue Kennel (HARK) – 50' Patent Vacation – Action Item** – HARK has requested the Planning Commission approve a 50' patent vacation within Tract 2 per the subdivision plat of Lot 40, Section 2, Township 31S, Range 59E, C.R.M. Alaska Department of Natural Resources (ADNR) has no interest in the patent reservation proposed to be vacated, and they consider it to be entirely managed by the Borough. **Possible Motion:** Approve HARK's 50' patent vacation request.
 - B. **Michael Wilson – Heliport Conditional Use Proposal – Action Item** – Property owner Wilson has requested the Planning Commission approve a conditional use permit to allow the installation of a helipad at 36 Mile Haines Highway. **Possible Motion:** Approve Wilson's heliport conditional use proposal.
 - C. **Hill Top Subdivision Preliminary Long Plat Approval – C-USS-A2-2716 – Action Item** – Highland Estates, Inc. submitted an updated preliminary long plat subdivision through its agent Dave Smith. The commission will process the preliminary plat pursuant to the standards set forth for special conditions permits and the standards set forth in HBC 18.100. **Possible Motion:** Approve Hill Top Subdivision Preliminary Long Plat.
9. UNFINISHED BUSINESS:
 - A. **Replat of Primary School Subdivision – Action Item** – This is unfinished business from March 12, 2015 Agenda. The surveyor revised and prepared the plat for commission approval. **Possible Motion:** Approve Re-Subdivision Plat of Primary School Subdivision.
10. NEW BUSINESS:
 - A. **Historic District/Building Review:** None
 - B. **Haines Borough Code Amendments:**
 1. **Clarify "Temporary Commercial Structure" – Discussion Item** – Commercial trailers are becoming more prevalent in town. The use of temporary commercial trailers is not currently addressed in the Borough code. Staff is seeking advice from the commission.
 - C. **Project Updates:** None
 - D. **Other New Business:** None
11. COMMISSION COMMENTS
12. CORRESPONDENCE
13. SCHEDULE MEETING DATE
 - A. Regular Meeting – Thursday, November 12, 2015 6:30 p.m.
14. ADJOURNMENT



**Haines Borough
Planning Commission Meeting
September 10, 2015
MINUTES**

Draft

1. **CALL TO ORDER/PLEDGE TO THE FLAG** – Chairman **Goldberg** called the meeting to order at 6:30 p.m. in Assembly Chambers and led the pledge to the flag.

2. **ROLL CALL** – **Present:** Chairman Rob **Goldberg**, Commissioners Lee **Heinmiller**, Heather **Lende**, Brenda **Josephson**, Rob **Miller**, Don **Turner III**, and Robert **Venables** (called in).

Staff Present: Jan **Hill**/Mayor, David **Sosa**/Manager, Shawn **Bell**/Harbormaster, and Tracy **Cui**/Planning and Zoning Technician III.

Also Present: Mike **Case** (Assembly liaison), Diana **Lapham** (Assembly member), Dick **Somerville** (PND, called in), Bill **Kurz**, Debra **Schnabel**, John **Sickman**, Ardy **Miller**, Dave **Nanney**, Adam **McMahan**, Emily **McMahan**, Evelynna **Vignola**, David **Smith**, Jeremy **Stephens**, Tresham **Gregg**, Joe **Parnell**, Sean **Gaffney**, and others.

3. **APPROVAL OF AGENDA**

Goldberg suggested moving 10D1 to be the first public hearing item. The other commissioners agreed.

Motion: **Lende** moved to “approve the agenda as amended.” **Josephson** seconded it. The motion carried unanimously.

4. **APPROVAL OF MINUTES** – August 13, 2015 Regular Meeting Minutes

Motion: **Miller** moved to “approve the August 13, 2015 minutes.” **Heinmiller** seconded it. The motion carried unanimously.

5. **PUBLIC COMMENTS**

Schnabel spoke in favor of the “shops on wheels” commercial development on behalf of the commerce committee.

6. **CHAIRMAN’S REPORT**

Goldberg reported updates on the picture point project.

7. **STAFF REPORTS**

A. **Planning & Zoning Staff Report**

Cui reported monthly permits and updates on projects.

8. **PUBLIC HEARINGS**

A. **South Portage Cove Harbor Expansion Project**

Goldberg opened the hearing at 6:40 p.m., and closed the hearing at 8:10 p.m. **Kurz**, **Schnabel**, **Nanney**, **Gregg**, **Parnell**, and others commented. The commission determined that the project design meets the goals of the Comprehensive Plan and is consistent with the current planning and zoning

requirements. There was uncertainty about this at the meeting, and how the regulation might affect the design of the harbor. The commissioners think it is wise to protect the Borough's investment before corrosion begins. A suggestion was made that funds from the Raw Fish Tax be directed toward purchasing and installing the anodes. **Miller** said that Mr. Harvey Smith could provide the Borough a second opinion of the design at no charge. It is possible that he could suggest changes that could make the project better or save money.

Motion: Goldberg moved to "recommend the Assembly (1) seek a review of PND's design from Harvey Smith, the State Coastal Engineer; (2) determine the Coast Guard regulations for boating in proximity to cruise ships; (3) install sacrificial anodes on the wave barrier upon installation; (4) move Lookout Park to a spot designated on the plan by PND Engineers. The motion carried 5-1 with **Lende** opposed. (**Venables** left during the hearing.)

B. Hill Top Subdivision Preliminary Long Plat Approval

Josephson recused herself.

The commission reviewed the design of the subdivision plans. The design drawings were done in 1997. Borough code has changed since that time, especially in the standards for roads and sewer systems. Many of the aspects of the subdivision's design were found to be out of compliance with the current code. There is also a cloudy title on part of the property. The commission decided to return the plat to the applicant for corrections, and encouraged the applicant to clear the title to the entire property. A committee consisting of Commissioners **Turner** and **Lende** was formed to work with the applicant to make the necessary changes before the preliminary plat is re-submitted.

9. UNFINISHED BUSINESS – None

10. NEW BUSINESS

A. Historic District/Building Review: None

B. Haines Borough Code Amendments

1. Clarify "Temporary Commercial Structure"

The commission postponed this topic to its next regular meeting.

2. Nonconforming Lot for A Public Utility Project

Cui said that the Borough plans an upgrade to the Piedad Springs water source. In order to proceed with the project, the Borough needs to purchase a small portion of property. However, the purchase will result in the creation of a nonconforming lot, which is less than one acre. Staff drafted an ordinance which will allow a nonconforming lot be created as a result of the Borough acquiring a portion of a lot to be used exclusively for public utility purposes. There is no requirement for Title 18 amendments to originate with the Planning Commission. The motion was made.

C. Project Updates – None

D. Other New Business

1. John Sickman – Appeal to the Planning Commission

Mr. Sickman was denied a building permit for a residence in the Skyline Subdivision because Borough staff and the Manager determined that the design exceeded the 30' height restriction. HBC 18.80.030(B) states: "Height

is measured from the average grade of the footprint of the structure to the highest point on the structure, measured at the center of each of the four exterior walls." It was determined that there was a difference in the way that Borough staff calculated the average grade from the way that Mr. Sickman's architect calculated average grade. Borough staff measured from the ground at the center of the four walls to the highest point of the structure. The architect determined average grade by taking a point at the highest point of the wall, and a point at the lowest end of the wall, connecting those points with a line, and then measuring from a point on that line at the center of the wall. If the slope of the grade on the sides of the building was even and consistent, these two methods of measurement result in the same number. However, in Mr. Sickman's design, one side of the building is excavated to allow room for a garage. The slope drops sharply from the high end to a pad and remains flat for the rest of the building. Measuring from the ground in the center of the wall, instead of from the average grade, gives a greater height. HBC 18.20.020 defines "Building height" as the maximum vertical dimension of a building which is measured from a horizontal plane intersecting the mean building grade and measured at the center of each of the four exterior walls, but not including radio antennas, water towers, church spires, structures or enclosures constructed primarily for mechanical equipment and similar building mechanical features. This definition makes it clear that the height is measured from a horizontal plane intersecting the mean building grade, and not from the ground.

Motion: Miller moved to "overturn the manager's decision." Josephson seconded it. The motion carried 6-0 with Venables absent.

The commission agreed that the definition of height in the code needs to be refined.

11. **COMMISSION COMMENTS**

12. **CORRESPONDENCE** - None

13. **SET MEETING DATES**

A. Regular Meeting—Thursday, October 15, 2015.

14. **ADJOURNMENT**– 11:45 p.m.

Staff Report for October 15, 2015

1. Permits Issued Since September, 2015

DATE	OWNER/AGENT	TAX ID	LOT	BLK	SUBDIVISION	DEVELOPMENT	ZONE
9/14/15	Marilyn Harrold	C-MEA-02-3000	30		Meadowland Sub.	ROW_New Driveway	SR
9/15/15	Barbara Blackwell	C-STR-02-3110	WEST1/2		SEC2, T31S, R59E, CRM	Wheelchair Ramp	RMU
9/16/15	Dustin Craney	C-SEC-35-1640	16D		Replat of Lot 16, SEC35, T30S, R59E, CRM	Storage Shed	SR
9/18/15	John Sickman	C-SKY-0C-0100	1	C	Skyline Estates Sub.	SFR	SR
9/23/15	Michael Falvey	C-TNS-21-2100	21	21	Haines Townsite	SFR	WF
9/23/15	Michael Falvey	C-TNS-21-2100	21	21	Haines Townsite	New Water & Sewer Services	WF
9/28/15	Sarah Jaymot	C-MIS-0F-0400	4	F	Mission Sub.	Enclosed Awning_Temporary Use	C
9/30/15	Todd Blum	C-CIA-01-0400	1	4	Chilkoot Inlet Sub.	ROW_New Driveway	RR

2. Citizen Complaints/Enforcement Orders

- The Borough received several citizen complaints stating that one property in the Mud Bay district has a web site advertising a structure that is large enough for a dance floor, a band, and perfect for large parties and commercial events. Staff conducted a site visit on September 18. This development has been evaluated against the existing vocation rental conditional use permit. Notification was sent out to the owner on September 25.
- The Borough received a citizen complaint stating that a fire-damaged residence is a public hazard. Staff conducted a site visit on September 28, and determined that the allegation is not substantiated. Fire occurred in spring of 2014, fire worn out one portion of the building. Property owner has been making effort to remove all fire damages. So far, inside is stripped to stud walls with furniture, cabinets, sheet rock, and floor covering removed. Also, the placement of warning signage that prevents non-authorized trespassing. The premises were secure and would require forced entry to get inside. Evidence that have been found the owner is making effort in minimizing the hazard to the neighborhood.
- The Borough received a citizen complaint related to neighbor disputes over a common access easement. Staff is currently investigating the matter.



HAINES ANIMAL RESCUE KENNEL

A PLACE FOR PETS AND THEIR PEOPLE

PO Box 1533, Haines AK 99827
www.harkalaska.org | (907) 766-333

August 27, 2015

Haines Borough Planning Commission
P.O. Box 1209
Haines, AK 99827

Dear Planning Commission members:

The Haines Animal Rescue Kennel is requesting the vacation of the 33' section line easement and the 50' Patent Reservation within Tract 2, Subdivision of Lot 40 (Plat 93-6), Section 2, T 31 S, R 59 E, Copper River Meridian. The attached plat shows the 33' section line easement to be vacated in the hatched area.

Sincerely,

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING



H.A.R.K.

Haines Animal Rescue Kennel, Inc.
PO Box 1533
Haines, AK 99827-1533
907-766-3334

FIRST NATIONAL BANK ALASKA
89-6/1252

3569

9/8/2015

PAY TO THE ORDER OF Haines Borough

\$**100.00

One Hundred and 00/100***** DOLLARS

Void after 90 days

Haines Borough
P.O. Box 1209
Haines, AK 99827

MEMO administrative, commission, public hearing advertise

⑈003569⑈ ⑆125200060⑆ 1211 146 4⑈

GENERAL NOTES

1. THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:5000.
2. ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARING AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES IN U.S. SURVEY FEET.
3. WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
4. RECORD INFORMATION DERIVED FROM SUBDIVISION PLAT OF LOT 40, SECTION 2, T.31S., R.59E., C.R.M. (SMALL TRACTS) WITHIN THE BOROUGH OF HAINES ALASKA, HAINES PLAT No. 93-6.
5. DIAGONALLY HATCHED AREA INDICATES PORTIONS OF THE SECTION-LINE EASEMENT AND THE DOTTED HATCHED AREA INDICATES PORTIONS OF THE PATENT RESERVATION BEING VACATED WITHIN SECTION 2, T.31S., R.59E., C.R.M., ALASKA. IT IS NOT THE INTENT OF THIS PLAT TO VACATE ANY OTHER DEDICATED PUBLIC RIGHTS-OF-WAY OR EASEMENTS.
6. THIS SUBDIVISION IS NOT SERVED BY MUNICIPAL WATER OR SEWER. ALL WATER SUPPLY AND WASTEWATER HANDLING SYSTEMS MUST COMPLY WITH ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION REQUIREMENTS.
7. THIS SECTION-LINE EASEMENT IS IN COMPLIANCE WITH DNR's FINAL DECISION EV-3-208 APPROVED FEBRUARY 2, 2015.
8. THE ALTERNATE ROUTE IN ACCORDANCE WITH AS 19.30.410 IS VIA EXISTING PUBLIC RIGHTS-OF-WAY IN THE IMMEDIATE VICINITY.
9. USA PATENT 1182455 IS SUBJECT TO A RIGHT-OF-WAY FOR ROADWAY ALTERNATE PURPOSES. THIS RIGHT-OF-WAY IS REFERRED TO AS "PATENT RESERVATION" BY THIS PLAT.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N00°03'00" W BETWEEN PRIMARY MONUMENTS NOTED.

CERTIFICATE BY THE HAINES BOROUGH

This vacation is across Tract 2, Plat No. 93-6, as described herein has been found to comply with the provision set forth in HC 18.100 and is approved for recording with the Haines Recorder's office dated: _____, 2015

Planning Commission Chair _____ Date _____
 Mayor _____ Date _____
 Haines Borough

CERTIFICATION OF BOROUGH ASSESSOR

I hereby certify that the applicants are not delinquent on property taxes for the property specified on the subdivision plat shown herein.

Dated: _____, 2015
 Haines Borough Assessor _____

SECTION-LINE EASEMENT VACATION CERTIFICATE APPROVAL RECOMMENDATION

STATE OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES

The vacation statement, as shown hereon, has been reviewed by the Southcoast Regional Office and is hereby recommended for approval by the Commissioner.

Recommended By: _____ Date: _____
 Title: Regional Chief Right-of-Way Agent

STATE OF ALASKA DIVISION OF MINING, LAND AND WATER

The vacation statement, as shown hereon, has been reviewed by the Division of Mining, Land & Water and is hereby recommended for approval by the Commissioner.

Recommended by: _____ Date: _____
 Title: Director Division of Mining, Land and Water

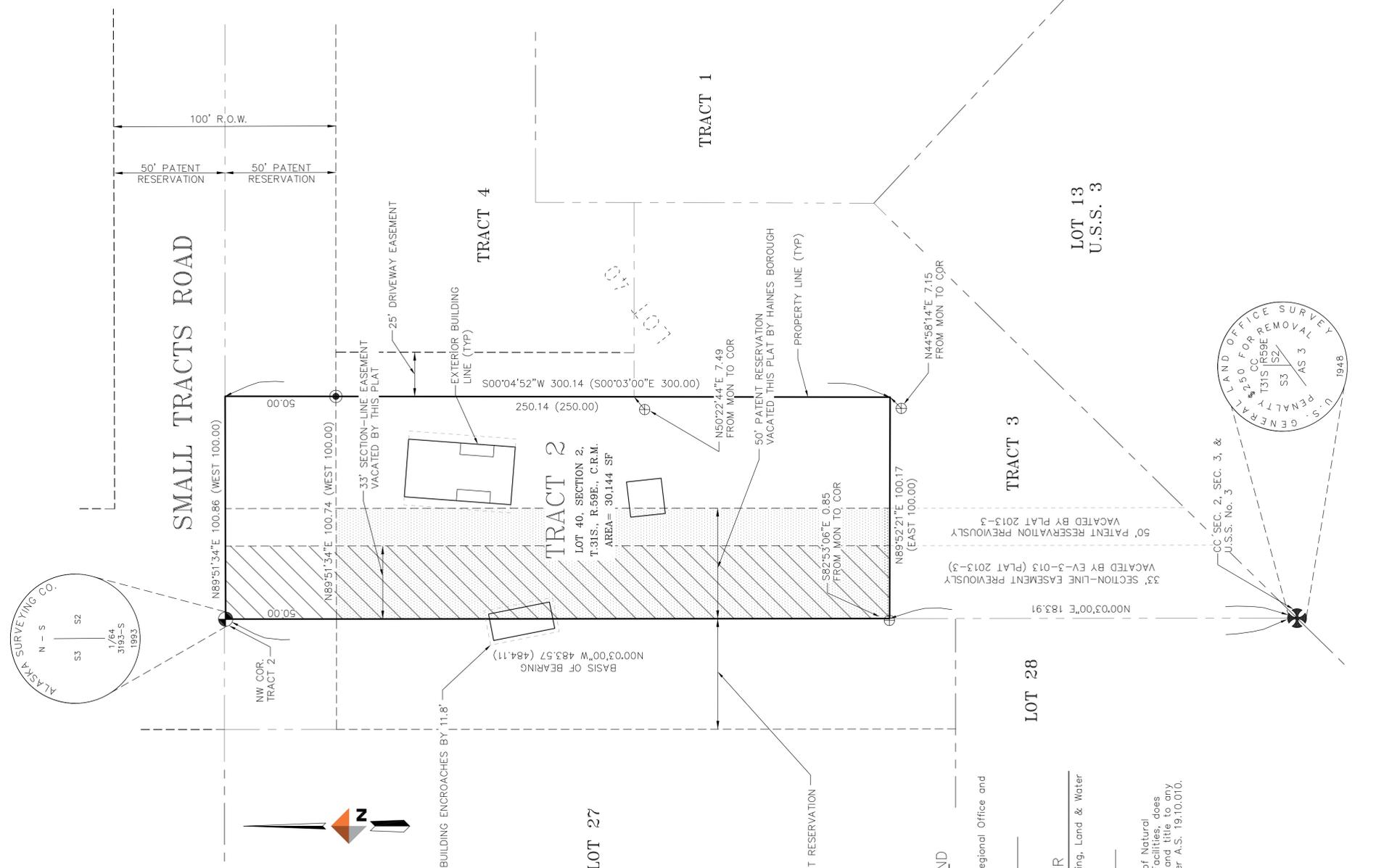
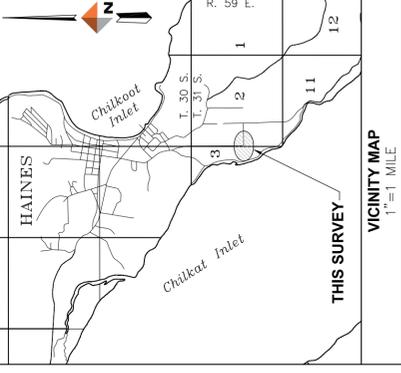
The State of Alaska, acting by and through the Commissioner of the Department of Natural Resources and the Commissioner of the Department of Transportation and Public Facilities, does hereby state and declare that the State of Alaska vacates and releases all rights and title to any and all portions of Section-Line easements for Public Highways reserved to it under A.S. 19.10.010. (Specified area delineated by diagonal hatching on this plat)

Date: _____ Approved: _____
 Commissioner Department of Transportation and Public Facilities

Date: _____ Approved: _____
 Commissioner Department of Natural Resources

LEGEND

-
-
-
-
-
-
-
-
-



OWNERSHIP CERTIFICATE

I hereby certify that I am the owner of the property shown and described hereon and that I hereby adopt this plat of subdivision with my free consent, and dedicate all streets, alleys, walks, parks, easements and other open spaces to public or private use as noted.

By: _____ Date: _____
 First Judicial District

NOTARY ACKNOWLEDGMENT

State of Alaska }
 ss. _____

This is to certify that on this _____ day of _____, 2015, before me the undersigned, a notary public in and for the State of Alaska, duly commissioned and sworn, personally appeared Tracy Mikowski, Executive Director for Haines Animal Rescue Kennel, to me known to be the person described in and who executed the above and foregoing instrument, and acknowledged to me that he signed and sealed the same freely and voluntarily for the uses and purposes of the said corporation therein mentioned, being fully authorized to do so. Witness my hand and official seal the day and year in this certificate first above written.

Notary Public for Alaska _____
 My Commission Expires: _____

GRAPHIC SCALE



DATE OF SURVEY	SURVEYOR	OWNER
Beginning 05/2013	DOWL RESCUE KENNEL	HAINES ANIMAL RESCUE KENNEL
Ending 06/2013	5368 COMMERCIAL BLVD. JUNEAU, ALASKA 99801	P.O. BOX 1533 HAINES, ALASKA 99827

1 METER = 3.280833 U.S. SURVEY FEET, 1 U.S. ACRE = 0.4047 HECTARE

SURVEYOR'S CERTIFICATE

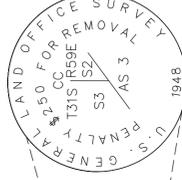
I hereby certify that I am properly registered and licensed to practice land surveying in the State of Alaska, that this plat represents a survey made by me or under my direct supervision, that the monuments shown hereon actually exist as described, and that all dimensions and other details are correct.

Date: _____ Registration Number 7712S

Registered Land Surveyor



CC SEC. 2, SEC. 3, & U.S.S. No. 3



SCALE 1" = 30'

CHECKED W.T.P. FILE NO. EV-3-208

TRACT 2, SUBDIVISION PLAT OF LOT 40 (PLAT 93-6)

LOCATED WITHIN SECTION 2, T.31S., R.59E., C.R.M., ALASKA HAINES RECORDING DISTRICT

DRAWN BY: W.T.P. APPROVAL RECOMMENDED

STATEWIDE PLATING SUPERVISOR DATE

CERTIFICATION of OWNERSHIP

I (WE) HEREBY CERTIFY THAT I (WE) ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS SUBDIVISION PLAT WITH OUR FREE CONSENT.

DATE: June 29, 1993

OWNER: FRANK PUTNAM LOLA B. PUTNAM
Frank Putnam *Lola B. Putnam*

ADDRESS: P.O. BOX 426 TRACTS 1/4
HAINES, ALASKA 99827

WITNESS: Niles K. Brill

OWNER: RUSS WALTON DARLENE WALTON
Russ Walton *Darlene Walton*

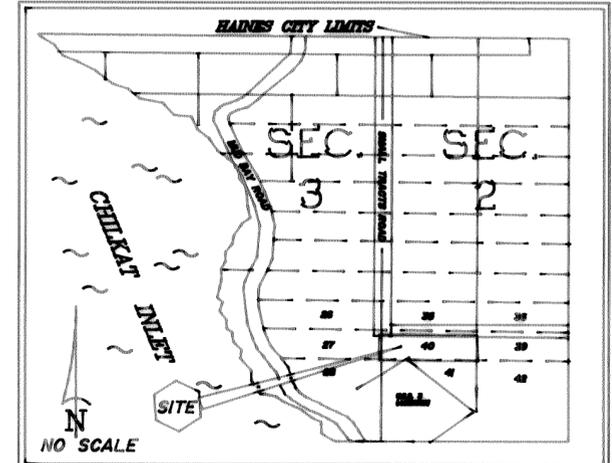
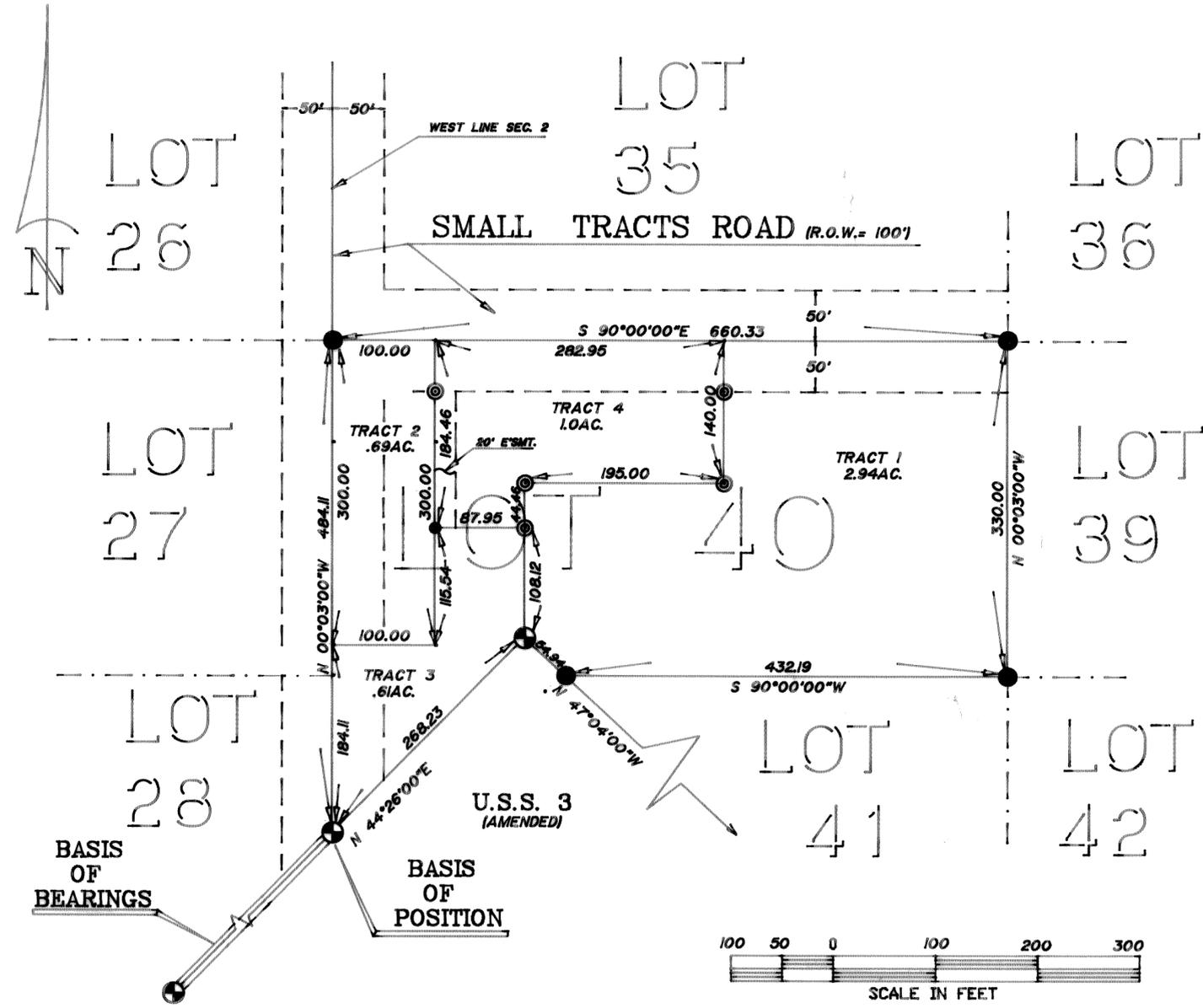
ADDRESS: P.O. BOX 755 TRACT 3
HAINES, ALASKA 99827

WITNESS: Niles K. Brill

OWNER: C.E. BUD PARDUÉ
C. E. Bud Pardue

ADDRESS: P.O. BOX 257 TRACT 2
HAINES, ALASKA 99827

WITNESS: Niles K. Brill



VICINITY MAP

GENERAL NOTES

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE OBSERVED LINE BETWEEN THE RECOVERED ORIGINAL GLO/BLM MONUMENTS AT THE CLOSING CORNERS ON THE NORTHWESTLY LINE OF U.S.S. 3 (AMENDED) HAVING AN ACCEPTED BEARING OF N 44°26' E.
2. THE BASIS OF POSITION FOR THIS SURVEY WAS THE NORTHERLYMOST CLOSING CORNER AT THE POINT OF INTERSECTION OF THE NORTHWEST LINE OF U.S.S. 3 (AMENDED) AND THE WEST LINE OF SECTION 2. I.e. STD. GLO/BLM BRASS CAP MONUMENT.
3. Not within a planning authority.

LEGAL DESCRIPTION

LOT 40, TOWNSHIP 31 SOUTH, RANGE 59 EAST OF THE COPPER RIVER MERIDIAN, HAINES RECORDING DISTRICT, FIRST JUDICIAL DISTRICT, STATE OF ALASKA.

NOTARY'S ACKNOWLEDGEMENT

UNITED STATES OF AMERICA,) ss
 STATE OF ALASKA)
 THIS IS TO CERTIFY that on this 29 day of June, 1993, before me the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn personally appeared:
Frank Putnam Lola Putnam
Ross Walton, Darlene Walton
C.E. Bud Pardue
 known to be the persons described in and who executed the above and foregoing instrument, and acknowledged to me that they signed and sealed the same freely and voluntarily for the purposes therein mentioned.

WITNESS my hand and official seal:
Richard C. Folta
 Notary Public for the State of Alaska

6/28/96
 My Commission Expires:

NOTARY PUBLIC
 RICHARD C. FOLTA
 STATE OF ALASKA

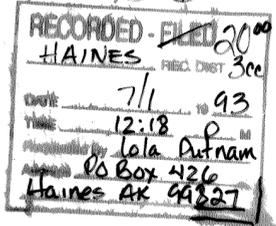
SURVEYOR'S CERTIFICATION

I hereby certify that I am a Professional Land Surveyor, licensed and registered in the State of Alaska, and that this plat represents a survey made under my direct supervision. All dimensional details and relative bearings are correct as shown, and that the monuments shown hereon actually exist as described, and other details are correct.

DATED: June 29, 1993
Richard C. Folta
 Richard C. Folta L.S. P.E.
 Registration No. 3193-S

CERTIFICATE OF TAX ASSESSOR

The undersigned, Assessor for the Haines Borough, hereby certifies that taxes have been paid on the subject property described hereon.
 DATED: 7-01-93
Dan Turner
 Haines Borough Assessor/Lands Officer



LEGEND

- - ORIGINAL GLO/BLM PRIMARY MONUMENT (RECOVERED)
- - SET 2"x30" ALUM. MONUMENT W/3" CAP (AKSURVCO 3193-S)
- - SET 5/8"x30" I.R. W/SURVICAP (3193-S)
- - SET LEAD PLUG W/BRASS TACK IN BOULDER

WASTEWATER DISPOSAL

CONDITIONS MAY NOT BE SUITABLE FOR CONVENTIONAL METHODS OF WASTEWATER TREATMENT AND DISPOSAL. NO SEWAGE TREATMENT OR DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY TRACT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THESE SYSTEMS.

Adjacent septic systems are working satisfactory RCF

CERTIFICATION OF APPROVAL BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION

SUBJECT TO THE NOTED RESTRICTIONS, THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION APPROVES THIS SUBDIVISION FOR PLATTING. THIS APPROVAL IS BASED ON CRITERIA FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT. NOTE RESTRICTIONS CONCERNING ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEMS.

NAME AND TITLE OF ALASKA DEPT. OF ENVIRONMENTAL CONSERVATION APPROVING OFFICIAL: RCF
 DATE: 7-1-93

COMPLETED 6/30/93

SUBDIVISION PLAT
 OF
LOT 40, SECTION 2, T.31S.-R.59E. C.R.M.
 (SMALL TRACTS) WITHIN THE BOROUGH OF HAINES, ALASKA

CLIENT:
FRANK & LOLA PUTNAM
 P.O. BOX 426
 HAINES, ALASKA 99827

SHT 1 of 1
 SCALE: 1" = 100'
 DWN: S.Mc./ACAD
 CHECKED: RCF

AKSURVCO #981221



The United States of America

To all to whom these presents shall come, Greeting:

WHEREAS, a certificate of the Land Office at **Juneau**, Alaska, is now deposited in the Bureau of Land Management, whereby it appears that pursuant to the act of Congress of **June 1, 1938 (52 Stat. 609), as amended by the Act of July 14, 1945 (59 Stat. 467)**, and the acts supplemental thereto, the claim of **Allen Dale Wiley**

has been established and that the requirements of law pertaining to the claim have been met, for the following-described land:

Copper River Meridian, Alaska.

T. 31 S., R. 59 E.,

Sec. 2, Lot 40.

The area described contains **5.24** acres, according to the official plat of the survey of the said land, on file in the Bureau of Land Management:

NOW KNOW YE, That the UNITED STATES OF AMERICA, in consideration of the premises, DOES HEREBY GRANT unto the said claimant and to the heirs of the said claimant the tract above described; TO HAVE AND TO HOLD the same, together with all the rights, privileges, immunities, and appurtenances, of whatsoever nature, thereunto belonging, unto the said claimant and to the heirs and assigns of the said claimant forever; subject to (1) any vested and accrued water rights for mining, agricultural, manufacturing, or other purposes, and rights to ditches and reservoirs used in connection with such water rights, as may be recognized and acknowledged by the local customs, laws, and decisions of courts; (2) the reservation of a right-of-way for ditches or canals constructed by the authority of the United States, in accordance with the act of August 30, 1890 (26 Stat., 391, 43 U. S. C. sec. 945), and (3) the reservation of a right-of-way for roads, roadways, highways, tramways, trails, bridges, and appurtenant structures constructed or to be constructed by or under authority of the United States or by any State created out of the Territory of Alaska, in accordance with the act of July 24, 1947 (61 Stat., 418, 48 U. S. C. sec. 321d). There is also reserved to the United States a right-of-way for the construction of railroads, telegraph and telephone lines, in accordance with section 1 of the act of March 12, 1914 (38 Stat., 305, 48 U. S. C. sec. 305)

Excepting and reserving, also, to the United States, all oil, gas, and other mineral deposits, in the land so patented, together with the right to prospect for, mine, and remove the same according to the provisions of said Act of June 1, 1938. This patent is subject to a right-of-way not exceeding 50 feet in width, for roadway and public utilities purposes, to be located along the north and west boundaries of said land.

IN TESTIMONY WHEREOF, the undersigned authorized officer of the Bureau of Land Management, in accordance with the provisions of the Act of June 17, 1948 (62 Stat., 476), has, in the name of the United States, caused these letters to be made Patent, and the Seal of the Bureau to be hereunto affixed.

GIVEN under my hand, in the District of Columbia, the **TWENTY-FIRST** day of **MAY** in the year of our Lord one thousand nine hundred and **FIFTY-EIGHT** and of the Independence of the United States the one hundred and **EIGHTY-SECOND**.

[SEAL]

For the Director, Bureau of Land Management.

By *Clara M. Beall*
.....
Chief, Patents Section.

Patent Number 1182155



HAINES BOROUGH, ALASKA
P.O. BOX 1209
HAINES, AK 99827
(907) 766-2231 FAX (907) 766-2716

October 5, 2015

«PRIMARYOWNER»
«ADDRESS»
«CITY», «STATE» «ZIPCODE»

Re: 50' Patent Vacation Petition
Haines Animal Rescue Kennel (HARK); Tract 2 per Subdivision Plat of Lot 40, Sec. 2, T.31S.,
R.59E., C.R.M.

Dear Land Owner,

Haines Borough records show that you own property within 200 feet of the above-listed property. In order to plan for the construction of a Veterinary Clinic, Haines Animal Rescue Kennel (H.A.R.K.) has requested the Planning Commission approve a 50' patent vacation request within Tract 2, per the subdivision plat of Lot 40, Sec. 2, T.31S., R.59E., C.R.M.

The Haines Borough Planning Commission will hold a public hearing on the matter at the next regular Planning Commission meeting. The meeting will be held at 6:30 p.m. at the Haines Borough Assembly Chambers on Thursday, October 15, 2015. As an owner of property within 200 feet of the above-listed property you are being notified that you are invited to attend and comment at the meeting. If you have any questions on the matter please contact the Borough.

Sincerely,

Tracy Cui
Planning and Zoning Technician III
Phone: (907)766-2231 Ext 23
xcui@haines.ak.us

PRIMARYOWNER	ADDRESS	CITY	STATE	ZIPCODE
DAN ELDREDGE	4700 LONE BEAR LANE SW	PORT ORCHARD	WA	98367
DEAN RISLEY	BOX 1012	HAINES	AK	99827
MARK MITCHELTREE	BOX 1036	HAINES	AK	99827
JOYCE STOCKBRIDGE	BOX 1093	HAINES	AK	99827
DON HOLGATE	BOX 301	HAINES	AK	99827
LYLE HUFF	BOX 347	HAINES	AK	99827
RICHARD COOK	BOX 671	HAINES	AK	99827
DARLENE WALTON	BOX 755	HAINES	AK	99827
LUCY WELLES HARRELL	BOX 889	HAINES	AK	99827



HAINES BOROUGH
 Planning & Zoning
 P.O. Box 1209
 Haines, AK 99827-1209
 907-766-2231 Ext. 23
 907-766-2716 (fax)

October 8, 2015

To: Haines Borough Planning Commission

Re: Michael Wilson Heliport Conditional Use Proposal
 35 Mile Haines Highway; 3-HHY-36-3426; General Use Zone

Property owner Michael Wilson requested the Planning Commission approve a Conditional Use Permit to allow the installation of one helipad on his property. HBC 18.70.030(D) (5) allows "heliports" in the general use zone with a conditional use permit. The application has been determined to be complete because it contains all of the information required by HBC 18.40.030(A) (1)-(8).

Under HBC 18.50.040, there are eight criteria to be considered in deciding whether to grant a conditional use permit. Before a conditional use permit is approved, the commission must find that each of the following is met. I have provided my thoughts on each one.

1. This use is so located on the site as to avoid undue noise and other nuisances and dangers.

The property is one 10.4 acre lot. There are three vacant lots directly adjacent to Wilson's property. The ones immediately to the west and east are state land; the one immediately to the north is also Wilson's property. On 10/05, surrounding property owners within 200 feet were notified. Staff has not received any comments from these property owners. The proposed helipad is situated on an upper terrace in the middle of the lot as far away from the property line as possible. The nearest residence is located approximate 0.75 mile away.

2. The development of the use is such that the value of the adjoining property will not be significantly impaired.

This is subjective both in general terms and in specific terms. Historical studies as well as real estate appraisal guidelines indicate that property values are not affected due to the proximity of a heliport. The value is based on sales in the area.

3. The size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use.

There is currently a residence on the property with an accommodation facility including a well, septic system, restrooms, and kitchen facilities. The applicant plans to build a lodge on an existing 40' by 60' foundation if this heliport CUP is issued. Per an email correspondence with

property owner Wilson dated 10/07, "...we would investigate the existing well, septic and foundation are adequate before we start building".

4. The specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses.

The Haines Borough Comprehensive Plan currently classifies the proposed property as Rural Settlement. The section of Haines Borough 2025 Comprehensive Plan pertaining to the Rural Settlement land use classification states... *"The Rural Settlement Land Designation is large-lot residential living outside of downtown where the lack of public water and sewer requires large lots so that wastewater discharge does not harm neighboring properties or the environment. In these areas a more rural lifestyle is valued and protected (through zoning) from incompatible and disruptive activities."* (Haines Borough 2025 Comprehensive Plan, Page 153). The proposed use may not seem to be in harmony with the comprehensive plan. While the proposed use may not seem to be in harmony with the comprehensive plan, it does appear to be consistent with the surrounding existing commercial use (33 Mile Roadhouse). An area around the 33-mile roadhouse is designated on the Future Growth maps for Commercial development. The goal is overtime to concentrate commercial activity in a few discrete areas rather than having it develop strip-mall style all along the Haines Highway.

5. The granting of the conditional use will not be harmful to the public safety, health or welfare.

Landings and takeoffs of helicopters will generate noise and some degree of vibration. However, there are no residential properties in the near vicinity. A conditional use permit may be revocable if the proposed use is detrimental to the public health, safety or welfare.

6. The use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams.

According to the 2015 GIS data provided by Alaska Department of Fish and Game, Wilson's property is not within or nearby any state-identified anadromous streams. Property owner Wilson indicated that FAA has reviewed the site and has granted a private heliport designation (AA35). "To safeguard surface water we will have containment for all fueling systems and will provide restroom and trash collection services to handle all human waste".

7. The use will comply with all required conditions and specifications if located where proposed and developed, and operated according to the plan as submitted and approved.

Property owner Wilson intends to use the heliport for commercial purposes, and the proposed helipads comply with the setback requirements, per HBC 18.80.030(B). Conditional use permits may be granted with restrictions on operating period, operating hours, etc. This permit could be immediately suspended or revoked should any of the conditions not be adhered to. The applicant must agree and adhere to the conditions of this permit prior to its approval. Also, the Planning Commission may oversee and decide how any issues or concerns of local residents will be resolved.

8. Comments received from property owners impacted by the proposed development have been considered and given their due weight.

As of today, the Borough has not received any written citizen comments. As stated above, no surrounding property owners within 200 feet have responded.

Therefore, I recommend the Planning Commission approve Wilson's conditional use proposal with conditions of (1) conform to the statement set forth in the permit application; and (2) fuel storage will be done in accordance with DEC standards with a fuel spill containment project in place before operation begin. Thank you very much for considering this recommendation.

Sincerely,

D.B. Sosa

David Sosa
Borough Manager



Haines Borough

Planning and Zoning

103 Third Ave. S., Haines, Alaska, 99827

Telephone: (907) 766-2231 * Fax: (907) 766-2716

APPLICATION FOR CONDITIONAL USE PERMIT

Permit#: _____

Date: _____

Use this form for use approval by the Planning Commission for conditional uses.

I. Property Owner/Agent		Owner's Contractor(If Any)	
Name: Michael Wilson		Name:	
Mailing Address: 8484 Duran Ct. Juneau AK 99801		Haines Borough Business License #:	
Contact Phone: Day Night 907-209-0845		Alaska Business License #:	
Fax: 907-789-5528		Contractor's License #:	
E-mail: mwilson@coastalhelicopters.com		Mailing Address:	
		Contact Phone: Day Night	
		Fax:	
		E-mail:	
II. Property Information			
Size of Property: 10.4 Acres			
Property Tax #: 3-HHY-36-3426			
Street Address: 35 Mile Old Haines Highway			
Legal Description: Lot (s) _____ Block _____ Subdivision _____			
OR			
Parcel/Tract _____ Section _____ Township _____ Range _____			
[Attach additional page if necessary.]			
Zoning: <input type="checkbox"/> Waterfront <input type="checkbox"/> Single Residential <input type="checkbox"/> Rural Residential <input type="checkbox"/> Significant Structures Area <input type="checkbox"/> Rural Mixed Use <input type="checkbox"/> Multiple Residential <input type="checkbox"/> Heavy Industrial <input type="checkbox"/> Waterfront Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial Light Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Mud Bay Zoning District <input type="checkbox"/> Lutak Zoning District <input checked="" type="checkbox"/> General Use			
III. Description of Work			
Type of Application (Check all that apply) <input type="checkbox"/> Residential <input type="checkbox"/> Commercial _____ sq. ft. _____ seating capacity if eating/drinking establishment <input type="checkbox"/> Industrial <input type="checkbox"/> Church <input type="checkbox"/> Other _____	Project Description (Check all that apply) <input type="checkbox"/> Single Family Dwelling <input type="checkbox"/> Change of Use <input type="checkbox"/> Multi-Family Dwelling Total # of Units _____ <input type="checkbox"/> Cabin <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input checked="" type="checkbox"/> Other Helipad _____	Water Supply Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Community well <input checked="" type="checkbox"/> Private well <input type="checkbox"/> Borough Water System <input type="checkbox"/> Other _____	Sewage Disposal Existing or Proposed <input type="checkbox"/> None <input checked="" type="checkbox"/> Septic Tank <input type="checkbox"/> Holding Tank <input type="checkbox"/> Borough Sewer System <input type="checkbox"/> Pit Privy <input type="checkbox"/> Other _____

Valuation of Work:
Current use of adjacent properties: There are no residences on adjacent properties or any activity occurring on adjacent properties
Attach the following documents to the permit application: <input type="checkbox"/> Site plan (see Attachment A) showing lot lines, bearings and distances, buildings, setbacks, streets, etc.

PREAPPLICATION (Required)

Pre-application Conference Date: _____

Prior to submission of an application, the developer shall meet with the manager for the purpose of discussing the site, the proposed development and the conditional use permit procedure. The manager shall discuss these matters with the developer with special attention to policies and approval criteria that may pose problems or constraints on the site or the proposed development activity and policies or approval criteria that may create opportunities for the developer.

APPLICATION

Please provide a written narrative explaining how your project will meet the following requirements. You may use the space provided on this form or attach your answers. A variance may only be granted if the Planning Commission finds that these six standards are met.

1. The use is so located on the site as to avoid undue noise and other nuisances and dangers.

Describe what safeguards are being provided (i.e. setbacks or buffers) to meet the condition.
The helipad is situated on an upper terrace in the middle of the cleared 10 acre lot as far away from the property line as possible. The property itself is well away and above the Haines highway to avoid vehicular traffic. The nearest resident is well over a mile away.

2. Explain how the development of the use is such that the value of the adjoining property will not be significantly impaired.

The adjoining properties are undeveloped at this time with no activity occurring. The proposed site is the only developed land on the abandoned old Haines highway. Activity and development in this area will help increase property values and tax revenues for the City of Haines.

3. Explain how the size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use.

There is currently a residence on the property with accommodation facilities including a well, septic system, restrooms, and kitchen facilities. When the conditional use permit is issued it will facilitate the construction of a lodge on an existing 40'x60' foundation with another existing well and septic system. There are plans for additional accommodation facilities with restrooms and food service.

4. Describe how or why the specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses.

This conditional use permit will allow the Alaska Heli-Skiing operation to move from the road side operation among residences at 33 mile to a more private, remote and safer operational area away from existing residences and vehicular traffic.

5. Explain how the granting of the conditional use will not be harmful to the public safety, health or welfare.

The use of this area for helicopter operations will ensure public safety by being away from roadways and other occupied property.

6. Describe the safeguards that will be provided so that the use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams.

The land is already developed, we want to simply land a helicopter there. The FAA has reviewed the site and has granted a private heliport deignation (AA35). To safeguard surface water we will have containment for all fueling systems and will provide restroom and trash collection services to handle all humsn waste.

IV. FEE

A non-refundable fee of \$150 must accompany this application. Checks must be made payable to the HAINES BOROUGH.

NOTICE

Per HBC 18.50.040, Comments received from property owners impacted by the proposed development will be considered and given their due weight. Additionally, the Planning Commission may impose one or more of the following conditions:

1. Development Schedule. The conditions may place a reasonable time limit on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighbors, to ensure that lots are not sold prior to substantial completion of required public improvements, or to implement other requirements.
2. Use. The conditions may restrict the use of the development to specific uses indicated in the approval.
3. Owner's Association. The conditions may require that if a developer, homeowner or merchant association is necessary or desirable to hold or maintain common property, that it be created prior to occupancy.
4. Dedications. The conditions may require conveyances of title, licenses, easements or other property interests to the public, to public utilities, or to the homeowners association. The conditions may require construction of public utilities or improvements to public standards and then dedication of public facilities to serve the development and the public.
5. Construction Guarantees. The conditions may require the posting of a bond or other surety or collateral (which may provide for partial releases) to ensure satisfactory completion of all improvements required by the commission.
6. Commitment Letter. The conditions may require a letter from a utility company or public agency legally committing it to serve the development if such service is required by the commission.
7. Covenants. The conditions may require the recording of covenants or other instruments satisfactory to the borough as necessary to ensure permit compliance by future owners or occupants.
8. Design. The conditions may require the adoption of design standards specific to the use and site.

V. CERTIFICATION

I hereby certify that I am the owner or duly authorized owner's agent, that I have read this application and that all information is correct. I further certify that I have read, understand and will comply with all of the provisions and permit requirements outlined hereon. I also certify that the site plan submitted is a complete and accurate plan showing any and all existing and proposed structures on the subject property and that the use will comply with all required conditions and specifications, will be located where proposed and when developed, will be operated according to the plan as submitted. All contract work on this project will be done by a contractor holding valid licenses issued by the State of Alaska and the Haines Borough. **I am aware that if I begin construction prior to receiving permit approval, I will be assessed a \$250.00 "After-the-Fact" fee.**



 Owner or Agent

9/24/2015

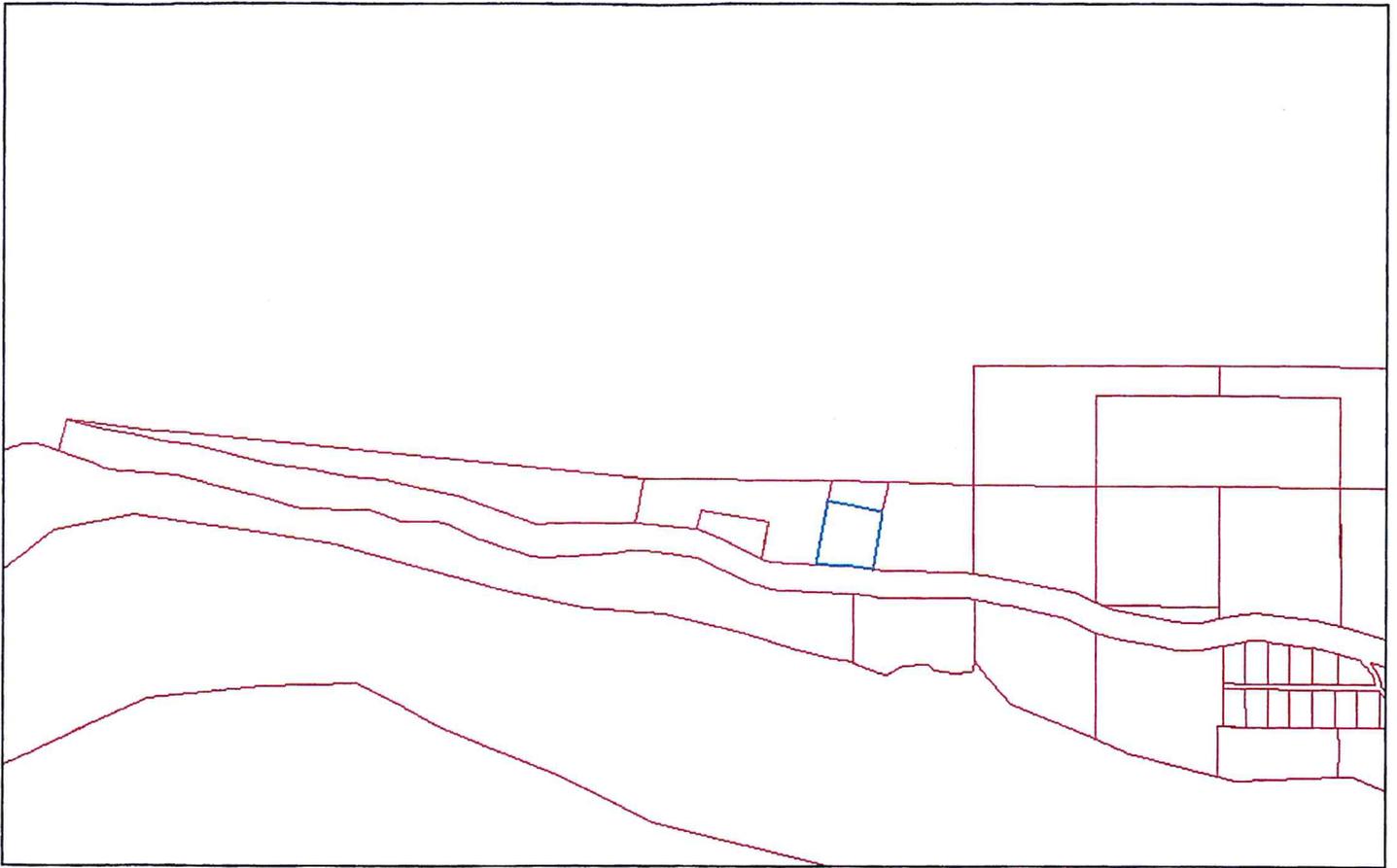
 Date

PROVISIONS: The applicant is advised that issuance of this permit will not relieve responsibility of the owner or owner's agents to comply with the provisions of all laws and ordinances, including federal, state and local jurisdictions, which regulate construction and performance of construction, or with any private deed restrictions.

Office Use Only Below This Line

<input type="checkbox"/> Applicant Notified Application is Complete and Accepted <small>(Date) (Notified via) (Initials)</small>					
Non-Refundable Permit Fee \$ <u>150.00</u> Receipt No. _____ Received By: <u>Nathan Friele</u> Date: <u>9/24/15</u>			Information/Documentation Req'd Rec'd <input type="checkbox"/> <input type="checkbox"/> State Fire Marshal <input type="checkbox"/> <input type="checkbox"/> State DEC <input type="checkbox"/> <input type="checkbox"/> Variance/Conditional Use Permit <input type="checkbox"/> <input type="checkbox"/> Sign Permit		
Zoning	Bldg. Height	Lot Coverage %	Const. Type	Occupancy	# Stories
This application meets all applicable Borough policies and a permit is issued, conditional on the substantial completion of construction within two years and the following special requirements:					
Planning Commission Chair:			Date:		

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



August 19, 2015

hainesborough_parcel07312015



Haines Borough Parcel Viewer



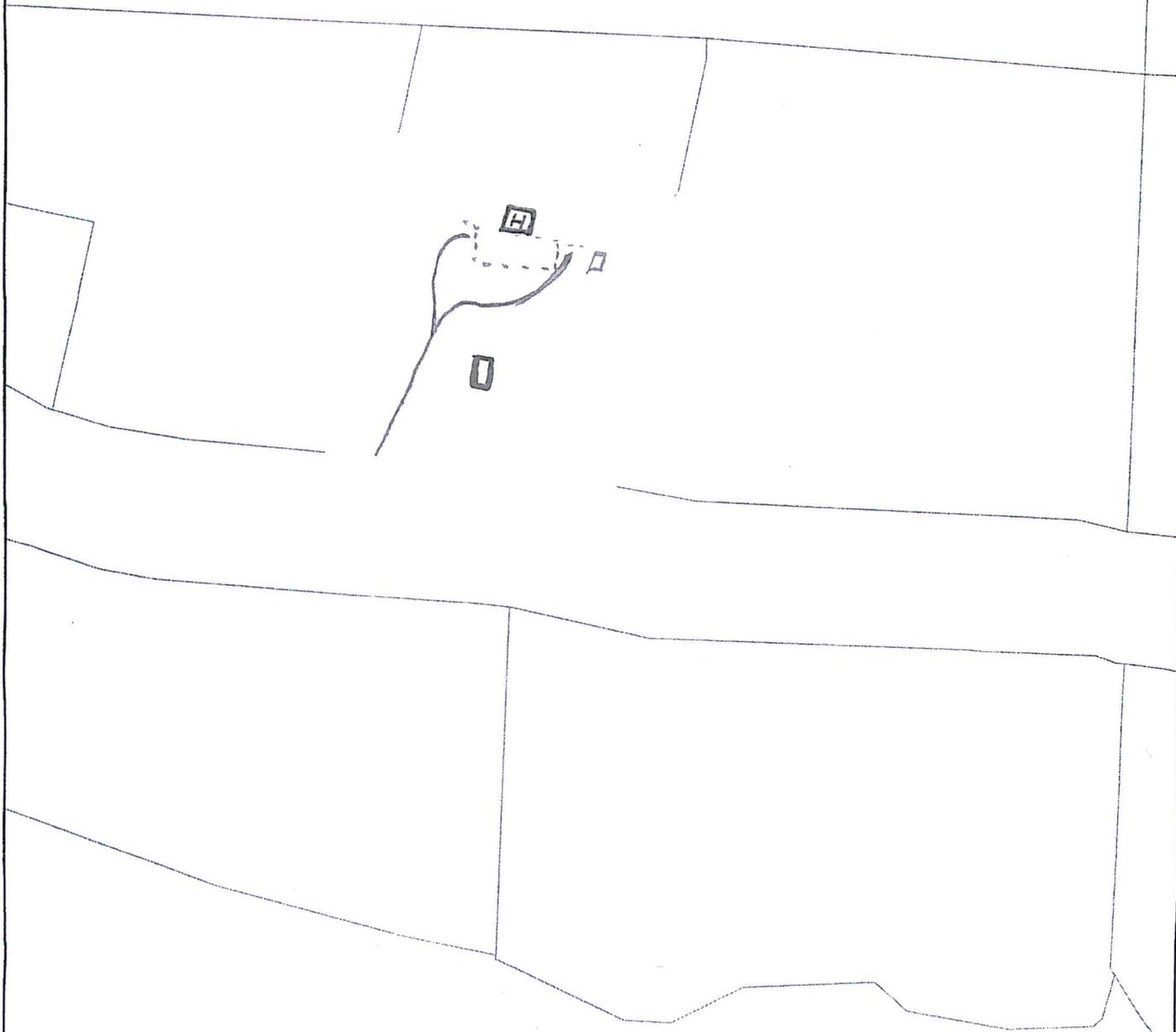
Find
TAXIDNO,

hainesborough_parcels07312015: 3-HHY-36-3426

HOWNTYPE	PRI
OWNTYPE	PRIVATE
TAXIDNO	3-HHY-36-3426
PRIMARYOWNER	VICKI L. GAROADNER
SECONDARYOWNER	MIKE H. WILSON
ADDRESS	HC 60, BOX 2613
CITY	HAINES
STATE	AK
ZIPCODE	99827
COUNTRY	US
LEGALDESC1	USS 3426
LEGALDESC2	HAINES HWY, 36 MILE
LEGALDESC3	10.4 ACRES
Zone	GU
LAND	98,000
EXEMPTLAND	0
TAXABLELAND	98000
IMPROVEMENT	75400
EXEMPTIMPROV	0
TAXABLEIMPROV	75400
ASSESSEDVALUE	173400
TAXABLEVALUE	173400
MILLRATE	8.15
TOTALTAX	1,413.21

[Zoom to](#)

Haines



0 225 450 900 Feet



Mike Wilson <mwilson@coastalhelicopters.com>

35 Mile Haines highway

Mike.Edelmann@faa.gov <Mike.Edelmann@faa.gov>
To: mwilson@coastalhelicopters.com

Tue, Jul 15, 2014 at 10:15 AM

Hi again Mike:

Do not know how it happened, but I got an almost immediate response.

The LOC ID of your landing area is **AA35**. Not sure why you were not notified by the aeronautical publishing group when that was issued. Again, that is a different FAA office, so I only have a fleeting glimpse of how they conduct their day to day business. They may not be issuing notification letters to the airport owners/operators anymore.

You can locate information on the landing area here: <http://www.gcr1.com/5010web/>

Enter AA35 in the Loc ID search box, and it will provide you with the information recognized by the FAA. If it is published on the AirportIQ5010 website, the FAA has acknowledged your landing area, and it is official. Also, if you see any information that needs to be changed or updated, you can do so via this site: http://www.faa.gov/air_traffic/flight_info/aeronav/digital_products/dafd/

Your landing area will not necessarily appear on the Sectional charts, or in the AK Supplement, unless you either specifically request it, or the FAA determines that including it benefits the aviation community as a whole. Typically, private landing areas do not show up in the Alaska Supplement, but they can be shown on the Sectional chart if it is believed that the VFR pilots will benefit from using it as a landmark.

Hope that helps

Mike E.

907-271-5026

From: Mike Wilson [mailto:mwilson@coastalhelicopters.com]
Sent: Tuesday, July 15, 2014 6:45 AM
To: Edelmann, Mike (FAA)
Subject: 35 Mile Haines highway

CERTIFICATE OF OWNERSHIP

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) OWNER (S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL EASEMENTS, ROADS, TRAILS, PARKS AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED:

DATE **JAN. 15th** 19 **92**

WITNESS _____ OWNER **Mary Choate**
 WITNESS _____ OWNER **Mary Choate**
 Lot 1 and 2

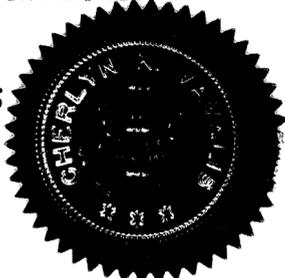
NOTARY'S ACKNOWLEDGEMENT

UNITED STATES OF AMERICA)
 STATE OF ALASKA) ss.

THIS IS TO CERTIFY THAT ON THIS **15th** DAY OF **JAN.** 19 **92** BEFORE THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED **Mary Choate** TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT **S** HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Cheryl K. Zavalis
 NOTARY PUBLIC FOR ALASKA
 MY COMMISSION EXPIRES: **Nov. 22, 1995**



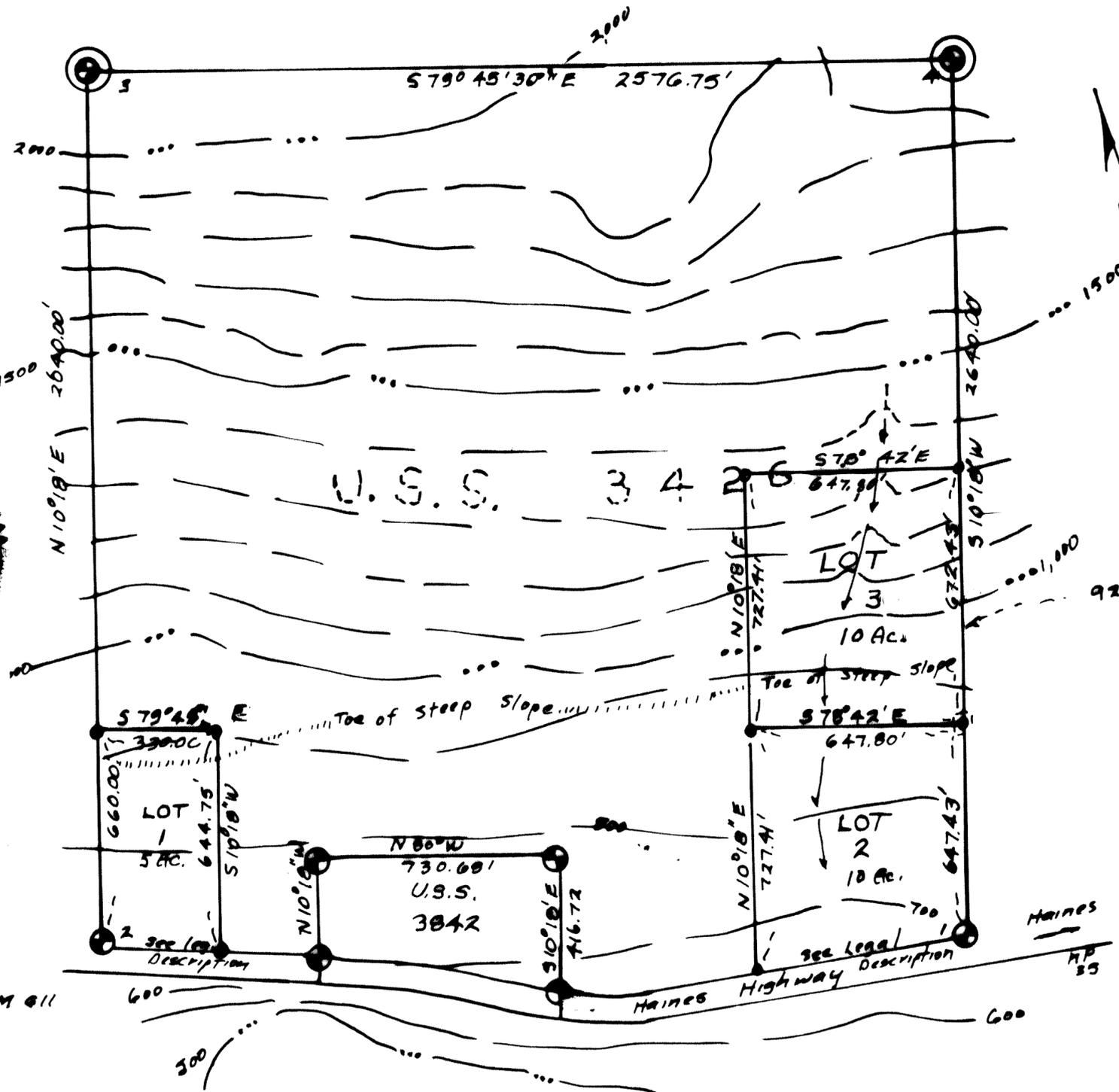
NOTES

1. Basis of bearing of survey is U.S.S. 3842 West boundary monuments and Lot 1 monuments from earlier survey. Distances are horizontal distances
2. Lots 1 and 2 are five or more acres in size, so Department of Environmental Conservation approval for onsite wastewater disposal is not required.
3. No platting approval is required as no platting authority presently exists for surveys at site.
4. See Department of Transportation and Public Facilities ROW maps for Haines Highway, for Lots 1 and 2 highway frontage, from about Mile 35 on.
5. Above noted toe of steep slope, ground rises 40-50%
6. NOT WITHIN A TAXING AUTHORITY.

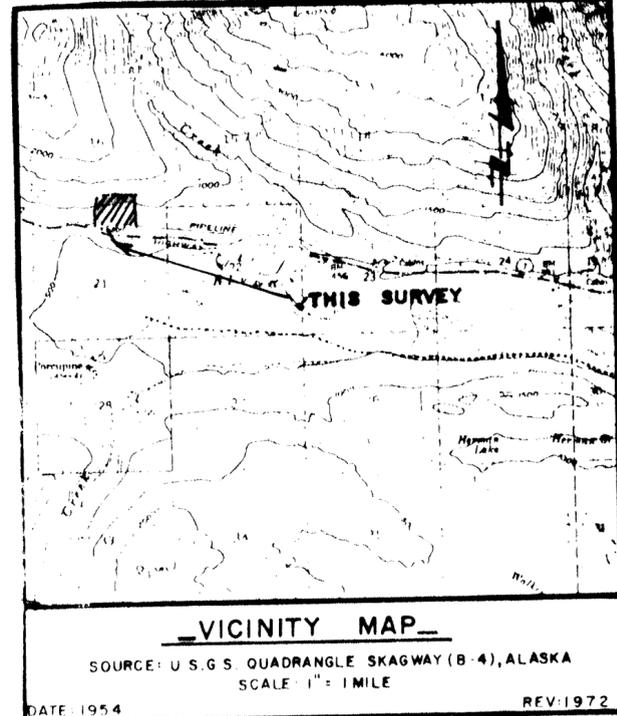
Cheryl K. Zavalis

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.



- LEGEND**
- Recovered GLO or BLM monuments
 - Monuments not recovered
 - Monuments placed this survey



LOTS 1 AND 2 LEGAL DESCRIPTION ALONG HAINES HIGHWAY

LOT 1: Commencing at Corner 2, the SW corner of U.S. Survey No. 3426 and Lot 1, a point of intersect on the northerly ROW of the Haines Highway; thence S 89 degrees E 12.87 feet; thence S 85 degrees 36 minutes E 77.09 feet; thence S 82 degrees 11 minutes E 77.09 feet and thence S 80 degrees 29 minutes E 163.68 feet along the said ROW to the SE corner of said Lot 1.

LOT 2: Commencing at Corner 1, the SE corner of U.S. Survey No. 3426 and Lot 2, a point of intersect on the northerly ROW of the Haines Highway; N 80 degrees W 120.52 feet; thence N 81 degrees 29 minutes W 82.24 feet; thence N 84 degrees 28 minutes W 82.24 feet; thence 87 degrees 27 minutes W 82.24 feet; thence 89 degrees 34 minutes W 82.24 feet and thence 88 degrees 5 minutes 205.39 feet along said ROW to the SW corner of said Lot 2.

94-20

HAINES 2000
 REC. DIST

DATE: **5/24 19 94**
 TIME: **12:55 P M**
 Requested By: **TPH/ACC**
 Address: _____

CHOATE SUBDIVISION FIRST ADDITION
 A **LOT** SUBDIVISION FROM U.S. SURVEY 3426 SECTION 16, T 28 S, R 54 E, CRM HAINES RECORDING DISTRICT, AK Sections 16 & 21
 Scale 1" = 300' October 1991

Client: Central Council, Tlingit and Haida
 320 W. Willoughby Ave. Suite 300
 Juneau, Alaska
 for Mary Choate

R. Folta, L.S., Haines, Alaska



HAINES BOROUGH, ALASKA
P.O. BOX 1209
HAINES, AK 99827
(907) 766-2231 FAX (907) 766-2716

October 5, 2015

«PRIMARYOWNER»
«ADDRESS»
«CITY», «STATE» «ZIPCODE»

Re: Heliport Conditional Use Permit Public Hearing
36 Mile Haines Highway; 3-HHY-36-3426; General Use Zone

Dear Land Owner,

Haines Borough records show that you own property within 200 feet of the above-listed property. The property owner, Michael Wilson, has requested for the Planning Commission to approve a conditional use permit to allow the installation of a helipad at 36 Mile Haines Highway.

The Haines Borough Planning Commission will hold a public hearing on the matter at the next regular Planning Commission meeting. The meeting will be held at 6:30 p.m. at the Haines Borough Assembly Chambers on Thursday, October 15, 2015. As an owner of property within 200 feet of the above-listed property you are being notified that you are invited to attend and comment at the meeting. If you have any questions on the matter please contact the Borough.

Sincerely,

Tracy Cui
Planning and Zoning Technician III
Phone: (907)766-2231 Ext 23
Fax: (907) 766-2716
xcui@haines.ak.us

List of Property Owners Notified

State of Alaska Land

State of Alaska
Dept of Natural Resources
Mining Land & Water
Realty Services Section
550 W 7th Avenue Suite 1050A
Anchorage Alaska 99501

As well as to:
State of Alaska
Dept of Natural Resources
Mining Land & Water
South East Regional Office
PO Box 111020
Juneau Alaska 99811-1020

Owner Address

Michael Wilson
8484 Duran Ct
Juneau, AK 99801

Chapter 18.50 CONDITIONAL USE

HBC 18.50.040 Decision.

The commission shall hold a public hearing on the conditional use permit application. The commission may adopt the manager's recommendation on each requirement unless it finds, by a preponderance of the evidence, that the manager's recommendation was in error and states its reasoning for such finding with particularity. In addition, for good cause, the commission may alter the conditions on approval or requirements for guarantees recommended by the manager.

A. Before a conditional use permit is approved, the commission must find that each of the following requirements is met:

1. The use is so located on the site as to avoid undue noise and other nuisances and dangers;
2. The development of the use is such that the value of the adjoining property will not be significantly impaired;
3. The size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use;
4. The specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses;
5. The granting of the conditional use will not be harmful to the public safety, health or welfare;
6. The use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams;
7. The use will comply with all required conditions and specifications if located where proposed and developed, and operated according to the plan as submitted and approved;
8. Comments received from property owners impacted by the proposed development have been considered and given their due weight.

If the commission finds that the development implements all relevant requirements of this title, it shall issue a conditional use permit and the conditions and requirements shall be part of the approved permit. If the development does not implement all relevant requirements, or the commission otherwise determines the development is not in compliance with this title, the commission shall deny the permit and note with particularity its reasons for the decision.

B. The commission may alter the manager's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

1. **Development Schedule.** The conditions may place a reasonable time limit on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighbors, to ensure that lots are not sold prior to substantial completion of required public improvements, or to implement other requirements.
2. **Use.** The conditions may restrict the use of the development to specific uses indicated in the approval.
3. **Owner's Association.** The conditions may require that if a developer, homeowner or merchant association is necessary or desirable to hold or maintain common property, that it be created prior to occupancy.
4. **Dedications.** The conditions may require conveyances of title, licenses, easements or other property interests to the public, to public utilities, or to the homeowners association. The conditions may require construction of public utilities or improvements to public standards and then dedication of public facilities to serve the development and the public.
5. **Construction Guarantees.** The conditions may require the posting of a bond or other surety or collateral (which may provide for partial releases) to ensure satisfactory completion of all improvements required by the commission.
6. **Commitment Letter.** The conditions may require a letter from a utility company or public agency legally committing it to serve the development if such service is required by the commission.
7. **Covenants.** The conditions may require the recording of covenants or other instruments satisfactory to the borough as necessary to ensure permit compliance by future owners or occupants.
8. **Design.** The conditions may require the adoption of design standards specific to the use and site.



HAINES BOROUGH
 Planning & Zoning
 P.O. Box 1209
 Haines, AK 99827-1209
 907-766-2231 Ext. 23
 907-766-2716 (fax)

October 8, 2015

To: Haines Borough Planning Commission
 From: Brad Ryan, Public Facilities Director
 Tracy Cui, Planning and Zoning Technician III

Re: Hill Top Subdivision Preliminary Long Plat
 C-USS-A2-2716; Multiple Residential Zone

Highland Estates, Inc submitted an updated long plat subdivision application through its agent Dave Smith. Haines Borough Code (HBC) 18.70.040 allows "Subdivision, Residential" in the multiple residential zone. HBC 18.100.050 requires a preliminary plat to be submitted to the Planning Commission for review and approval before any construction begins, and the application for approval of the preliminary plat shall be placed on the agenda for the next planning commission meeting. Staff reviewed the preliminary plat and made recommendations as following:

- Staff found the ownership of one portion of the proposed subdivision is unclear. It appears that one portion of land was sold by a party claiming to have good title but was actually owned by someone else, which causes confusion as to the true owner of the property. For this reason, titles are also called a "cloudy title", meaning that it is difficult to "see" who the proper owner is. It is very important that title defects be discovered and properly addressed well before the property is subdivided. Investigating the background of property titles involves predicting any potential conflicts that might arise in the future. The developer is currently working on resolving this issue.
- Easements must be obtained from the Port Chilkoot Company for the half-street portions of Allie Road and Tower Road not owned by the developer. Copies of the easements must be sent to the Borough as soon as they are executed and before the preliminary plat will be signed. The Port Chilkoot Company should sign "ownership certification and dedication" as affected owner on the plat.
- Water and Sewer main extensions shall be approved by DEC and authorized by the Assembly. The lines must be inspected by an impartial third-party engineer qualified to make such inspections. The inspection costs are borne by the developer. Also, the inspector shall be on site continuously while the work is being done.
- The plat shall show "statement of property taxes".
- The plat shall indicate the zoning of the proposed subdivision.
- Staff recommend the commission grant a variance to allow one portion of Bartlett Blvd to be constructed at 12% grade only if Rivers Street to be developed into Borough standards so as to provide access to the end of the Bartlett Blvd for the purposes of emergency response and snow plowing.
- Drainage system plans shall be provided with respect to the storm water being discharged into the adjoining property owned by the Port Chilkoot Company.
- Low water pressure issue in the subdivision for block 2, lots 2, 4, 5, 6, 7, 19, 20, 21, 31, 32, 33, 34, 35 and 36 shall be addressed and approved by DEC.
- Due to the height of lots 1 and 3, block 2, no public water service will be available to these lots. Developer must either dig a well or install a pump and water line from an available main at a lower elevation. If installing pump/line, such pump and line must be installed before property owner(s) will be allowed to connect to the

public water system. Maintenance of pump and water line will remain the responsibility of the lot owners served by this line.

- Maintenance of private access to lots 1-4, block 2 is the responsibility of the owners of these lots.
- The 14% private access to lots 1, 3, and 4, block 2. This grade may make it difficult for fire trucks access due to the weather condition. Staff recommend the commission reserve lot 1 or 3, block 2 as a park/open space for a period of five years, after which time either the Borough shall either acquire the property or release the reservation.
- Per HBC 12.08.110(D)(1), the turnaround shall be constructed to a four percent grade or less. The proposed Hilltop Way does not meet this requirement.
- No lots in the subdivision may be re-subdivided except lot 3, block 2, which may only be further subdivided into two lots. Subdivider of lot 3 accepts the responsibility of providing utilities and legal and physical access to both lots formed by the subdivision.
- All roads shown in the preliminary plat shall be constructed to Road Construction Standard Category II; Hill Side Loop and Hilltop Way shall be constructed to Category I. (HBC 12. 08.080) Staff will conduct an inspection prior to grading-C or D1 application of the sub-base on Category I and II roads.
- Installation of fire hydrants will be at cost of the developer.

Additionally, please see the recommendations for consultations necessary for permitting. These are only recommendations the developer should do a thorough review of all necessary state, federal, and Borough permits necessary for the subdivision.

- U.S. Army Corps of Engineers (Corps)
Any person, firm, or agency (including Federal, State and Local government agencies) planning to work in navigable waters of the United States, and/or discharge (dump, place, deposit) dredged or fill material in waters of the United States, including wetlands, must first obtain a permit from the Corps. The Corps is responsible for determining whether an area is a jurisdictional water of the U.S. In addition to evaluating permit applications, the Corps also investigates and resolves violations for situations where a permit was not obtained. The Regulatory Division's web site is: www.poa.usace.army.mil/reg
- State of Alaska, Dept. of Fish & Game
The Division of Habitat is a unit of the Alaska Department of Fish and Game. Effective July 1, 2008, fish habitat permitting, Forest Resource and Practices Act Review, and other project review functions were transferred from the Department of Natural Resources to the Department of Fish and Game.
- U.S. Environmental Protection Agency
The local EPA office provides assistance to the Corps of Engineers in review of projects that are proposed in Waters of the United States. EPA assists the Corps in Clean Water Act enforcement by pursuing cases that involve repeat and recalcitrant violators. Waste water violations and other programs are pursued out of the Anchorage and Seattle offices but the local office can assist in making those contacts.

The EPA also manages storm water permits. Additional information is at: U.S. Environmental Protection Agency, Region 10, Alaska Operations Office, 222 West Seventh Avenue, Anchorage, AK 99513-7588 or (907)271-5083. <http://www.epa.gov/region10/>
- State of Alaska, Department of Environmental Conservation
The Alaska Department of Environmental Conservation (ADEC) provides and enforces standards for water quality and waste disposal. For information contact the local ADEC <http://dec.alaska.gov/>



Haines Borough

Planning and Zoning

103 Third Ave. S., Haines, Alaska, 99827
 Telephone: (907) 766-2231 * Fax: (907) 766-2716

PLATTING ACTION APPLICATION

Permit#: _____

Date: _____

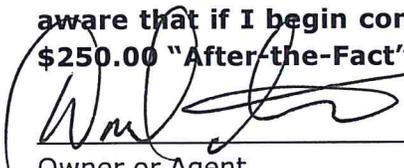
I. Type of Platting Approval Requested		
<input type="checkbox"/> Lot Line Vacation \$50 <input type="checkbox"/> Lot Line Adjustment \$50 <input type="checkbox"/> Short Plat \$75 <input type="checkbox"/> Planned Unit Dev't \$150 <input checked="" type="checkbox"/> Long Plat \$200		
I. Property Owner/Agent		Firm Preparing Plat
Name: Highland's Estates, Inc./David Smith		Name: Southeast Road Builders, Inc.
		Haines Borough Business License #: 140.1
Mailing Address: HC 60 Box 4800, Haines, AK 99827		Alaska Business License #: 228340
		Contractor's License #: 23987
Contact Phone: Day Night (907) 766-2833	Mailing Address: HC 60 Box 4800, Haines, AK 99827	
	Contact Phone: Day Night (907) 766-2833	
Fax: (907) 766-2832	Fax: (907) 766-2832	
E-mail: roger@seroad.com; mapsurveyors@gmail.com		E-mail: roger@seroad.com
III. Property Information		
Property Tax #: C-USS-A2-2716		
Legal Description: Lot (s) _____ Block _____ Subdivision <u>Hill Top Subdivision</u>		
OR		
Parcel/Tract <u>A-3-1&2</u> Section <u>34</u> Township <u>30S</u> Range <u>59E</u>		
[Attach additional page if necessary.] Tracts A-3-1 & A-3-2, According to Plat 89-8		
Number of Existing Parcels: 2	Total Land Area: 34.13 acres	Number of Resulting Lots/Parcels: 72
Existing Structures? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Water Utilities: <input checked="" type="checkbox"/> Public <input type="checkbox"/> On Site	Sewer Utilities: <input checked="" type="checkbox"/> Public <input type="checkbox"/> On Site
Zoning: <input type="checkbox"/> Waterfront <input type="checkbox"/> Single Residential <input type="checkbox"/> Rural Residential <input type="checkbox"/> Significant Structures Area <input type="checkbox"/> Rural Mixed Use <input checked="" type="checkbox"/> Multiple Residential <input type="checkbox"/> Heavy Industrial <input type="checkbox"/> Waterfront Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial Light Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Mud Bay Zoning District <input type="checkbox"/> Lutak Zoning District <input type="checkbox"/> General Use		
Unique Characteristics of Land or Structure(s): This subdivision had preliminary approval from the City of Haines on June 6, 1997.		
Attach the following documents to the permit application: <input checked="" type="checkbox"/> Plat (prepared by a professional land surveyor licensed to practice in the state of Alaska) <input type="checkbox"/> As-built Survey (may be required if there are existing structures on the lot)		
Important Note:		
~The standards and procedures for all Platting Actions are in the Haines Borough Code Section 18.100		

IV. FEE

The appropriate non-refundable fee as shown above must accompany this application. Checks must be made payable to the HAINES BOROUGH.

IV. CERTIFICATION

I hereby certify that I am the owner or duly authorized owner's agent, that I have read this application and that all information is correct. I further certify that I have read, understand and will comply with all of the provisions and permit requirements outlined hereon. I also certify that the plats and/or surveys submitted are complete and accurate, showing any and all existing and proposed structures on the subject property. All contract work on this project will be done by a contractor holding valid licenses issued by the State of Alaska and the Haines Borough. **I am aware that if I begin construction prior to receiving permit approval, I will be assessed a \$250.00 "After-the-Fact" fee.**



 Owner or Agent

August 25, 2015

 Date

PROVISIONS: The applicant is advised that issuance of this permit will not relieve responsibility of the owner or owner's agents to comply with the provisions of all laws and ordinances, including federal, state and local jurisdictions, which regulate construction and performance of construction, or with any private deed restrictions.

Office Use Only Below This Line

<input type="checkbox"/> Applicant Notified Application is Complete and Accepted			(Date)	(Notified via)	(Initials)
Non-Refundable Permit Fee \$ <u>250.00</u> Receipt No. <u>26218</u> Received By: <u>J Baker</u> Date: <u>8.26.15</u>	Information/Documentation Req'd Rec'd <input type="checkbox"/> <input type="checkbox"/> Plat <input type="checkbox"/> <input type="checkbox"/> As-built Survey <input type="checkbox"/> <input type="checkbox"/> Variance/Conditional Use Permit <input type="checkbox"/> <input type="checkbox"/> Sign Permit				
This application meets all applicable Borough policies and a permit is issued, conditional on the substantial completion of construction within two years and the following special requirements:					
Approval Signature:			Date		

Notice of Right to Appeal: All decisions of the Borough Manager are appealable per HBC 18.30.050

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



Haines Borough

Planning and Zoning

103 Third Ave. S., Haines, Alaska, 99827

Telephone: (907) 766-2231 * Fax: (907) 766-2716

APPLICATION FOR VARIANCE

Permit#: _____

Date: _____

Use this form for policy variances for: Building Density, Setbacks, Building Height & Parking Regulations

I. Property Owner/Agent		Owner's Contractor(If Any)	
Name: Highlands Estates, Inc. / David Smith		Name: Southeast Roadbuilders, Inc. Haines Borough Business License #: 140.1	
Mailing Address: HC60 Box 4800, Haines, AK 99827		Alaska Business License #: 228340 Contractor's License #: 23987	
Contact Phone: Day Night (907) 766-2833		Mailing Address: HC60 Box 4800, Haines, AK 99827	
Fax: (907) 766-2832		Contact Phone: Day Night (907) 766-2833	
E-mail: mapsurveyors@gmail.com		Fax: (907) 766-2832	
E-mail: mapsurveyors@gmail.com		E-mail: roger@seroad.com	
II. Property Information			
Size of Property: 34.13 acres			
Property Tax #: C-USS-A2-2716			
Street Address: South of Major Road			
Legal Description: Lot (s) _____ Block _____ Subdivision <u>Martin Cordes</u>			
OR			
Parcel/Tract <u>A-3-1 & 2</u> Section <u>34</u> Township <u>30 S</u> Range <u>59 E</u>			
[Attach additional page if necessary.] Tracts A-3-1 & A-3-2, According to Plat 89-8			
Zoning: <input type="checkbox"/> Waterfront <input type="checkbox"/> Single Residential <input type="checkbox"/> Rural Residential <input type="checkbox"/> Significant Structures Area <input type="checkbox"/> Rural Mixed Use <input checked="" type="checkbox"/> Multiple Residential <input type="checkbox"/> Heavy Industrial <input type="checkbox"/> Waterfront Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial Light Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Mud Bay Zoning District <input type="checkbox"/> Lutak Zoning District <input type="checkbox"/> General Use			
III. Description of Work			
Type of Application (Check all that apply) <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial _____ sq. ft. _____ seating capacity if eating/drinking establishment <input type="checkbox"/> Industrial <input type="checkbox"/> Church <input type="checkbox"/> Other _____	Project Description (Check all that apply) <input type="checkbox"/> Single Family Dwelling <input type="checkbox"/> Change of Use <input type="checkbox"/> Multi-Family Dwelling Total # of Units _____ <input type="checkbox"/> Cabin <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input checked="" type="checkbox"/> Other Subdivision _____	Water Supply Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Community well <input type="checkbox"/> Private well <input checked="" type="checkbox"/> Borough Water System <input type="checkbox"/> Other _____	Sewage Disposal Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Septic Tank <input type="checkbox"/> Holding Tank <input checked="" type="checkbox"/> Borough Sewer System <input type="checkbox"/> Pit Privy <input type="checkbox"/> Other _____

3. Describe why (because of the conditions you have described) the strict application to the property of the requirements of this chapter will result in an undue, substantial hardship to the owner of the property such that no reasonable use of the property could be made.

Dropping the road grade to 10 percent would lower the upper end at Rivers Street by 15 feet making the road surface over 21 feet below the existing ground. This lowering would also make the construction of Rivers Street unreasonable and may adversely affect existing property owners along the street. (See "Attachment B" for a road profile comparison).

4. Describe how or why the special conditions that require the variance are not caused by the person seeking the variance, a predecessor in interest, or the agent of either.

The natural topography of the land, as well as, the existing improvements surrounding the property require this unique solution to allow construction of the road in the most reasonable way with the least impact to existing residential development.

5. Describe any reasons not based on costs or inconvenience you have for requesting this variance.

In addition to the topographical reasons listed above:
1) It will allow for a connection to be made to Rivers Street.
2) It will provide the potential to extend Bartlett Boulevard south to connect with Tower Road.
3) It will allow for access to existing and proposed properties.

6. The variance can only be granted if the variance will not permit a land use in a zone in which that use is prohibited.

Explain what your property will be used for.
The property will be used as a residential subdivision as it is currently zoned.

IV. FEE

A non-refundable fee of \$150 must accompany this application. Checks must be made payable to the HAINES BOROUGH.

NOTICE

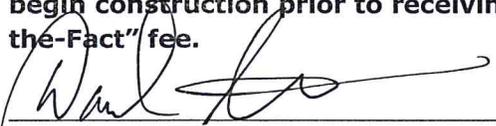
If a property qualifies for a variance under the Haines Borough Land Use/Development Code Section 18.80.050(D), the variance granted must meet the following conditions:

1. The deviation from the requirement of this chapter that is permitted by variance may be no more than is necessary to permit a reasonable use of the lot;
2. The variance will not permit a land use that is prohibited by this chapter;
3. The variance is in keeping with the spirit and intent of this chapter and the requirements from which relief is sought;
4. The variance will not be detrimental to the public health, safety or welfare; and
5. The variance will not significantly adversely affect other property (i.e., snow will not be deposited on adjacent properties from areas such as roofs).

Notice of Right to Appeal: All decisions of the Borough Manager are appealable per HBC 18.30.050

V. CERTIFICATION

I hereby certify that I am the owner or duly authorized owner's agent, that I have read this application and that all information is correct. I further certify that I have read, understand and will comply with all of the provisions and permit requirements outlined hereon. I also certify that the site plan submitted is a complete and accurate plan showing any and all existing and proposed structures on the subject property. All contract work on this project will be done by a contractor holding valid licenses issued by the State of Alaska and the Haines Borough. **I am aware that if I begin construction prior to receiving permit approval, I will be assessed a \$250.00 "After-the-Fact" fee.**



 Owner or Agent

9/25/2015

 Date

PROVISIONS: The applicant is advised that issuance of this permit will not relieve responsibility of the owner or owner's agents to comply with the provisions of all laws and ordinances, including federal, state and local jurisdictions, which regulate construction and performance of construction, or with any private deed restrictions.

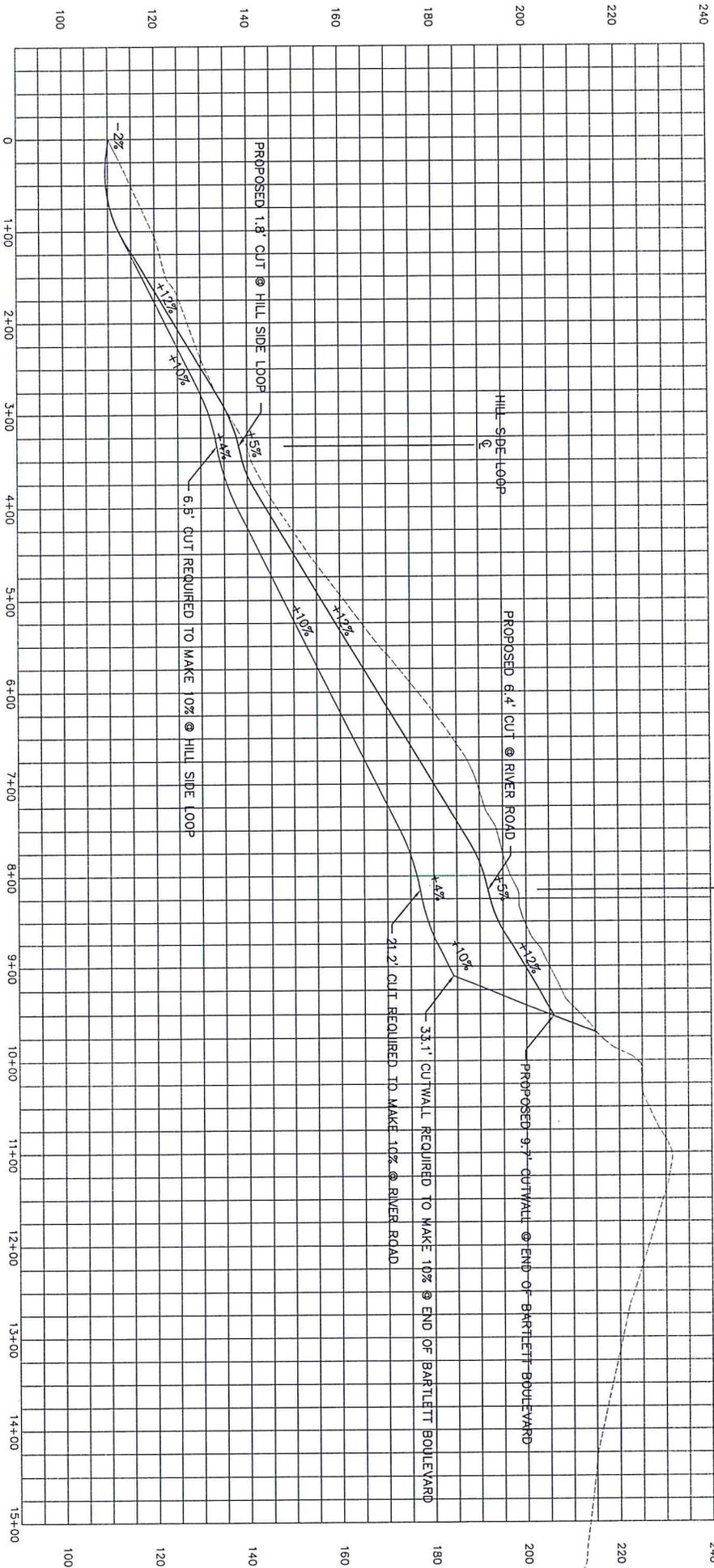
Office Use Only Below This Line

<input type="checkbox"/> Applicant Notified Application is Complete and Accepted					
		(Date)		(Notified via)	
				(Initials)	
Non-Refundable Building Permit Fee \$ _____ Receipt No. _____ Received By: _____ Date: _____			Information/Documentation Req'd Rec'd <input type="checkbox"/> <input type="checkbox"/> State Fire Marshal <input type="checkbox"/> <input type="checkbox"/> State DEC <input type="checkbox"/> <input type="checkbox"/> Variance/Conditional Use Permit <input type="checkbox"/> <input type="checkbox"/> Sign Permit		
Zoning	Bldg. Height	Lot Coverage %	Const. Type	Occupancy	# Stories
This application meets all applicable Borough policies and a permit is issued, conditional on the substantial completion of construction within two years and the following special requirements:					
Planning Commission Chair:			Date		

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

ATTACHMENT B

RIVERS ROAD



BARTLETT BOULEVARD

HILL TOP SUBDIVISION HAINES BOROUGH, ALASKA

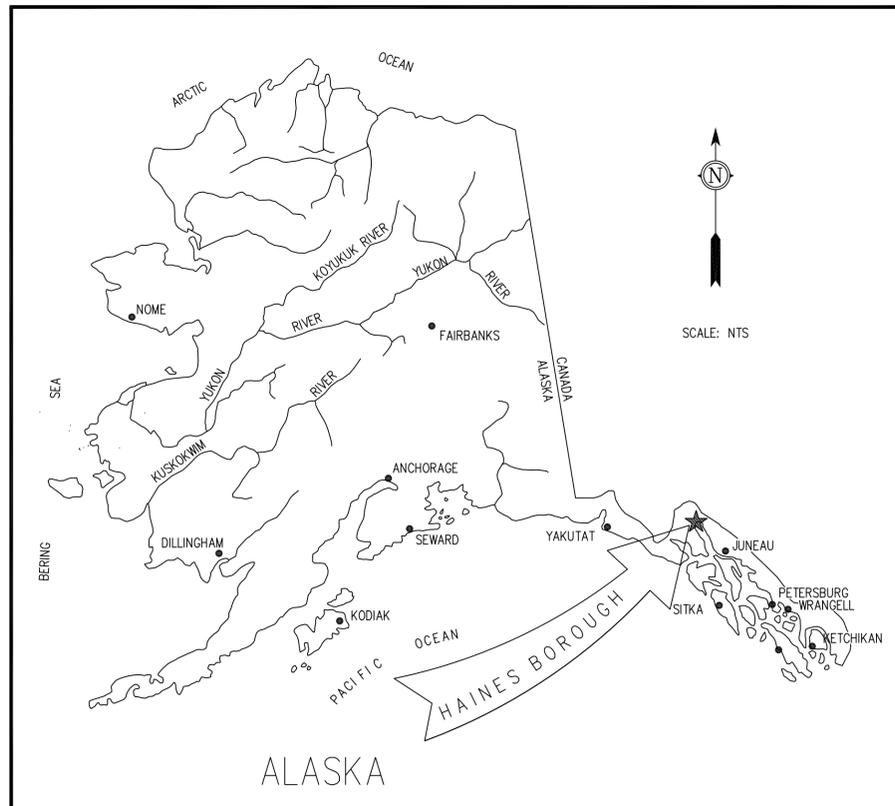
PREPARED BY:

proHNS LLC

ENGINEERING, TECHNICAL, AND ADMINISTRATIVE SERVICES

BOX 1041
HAINES, ALASKA 99827

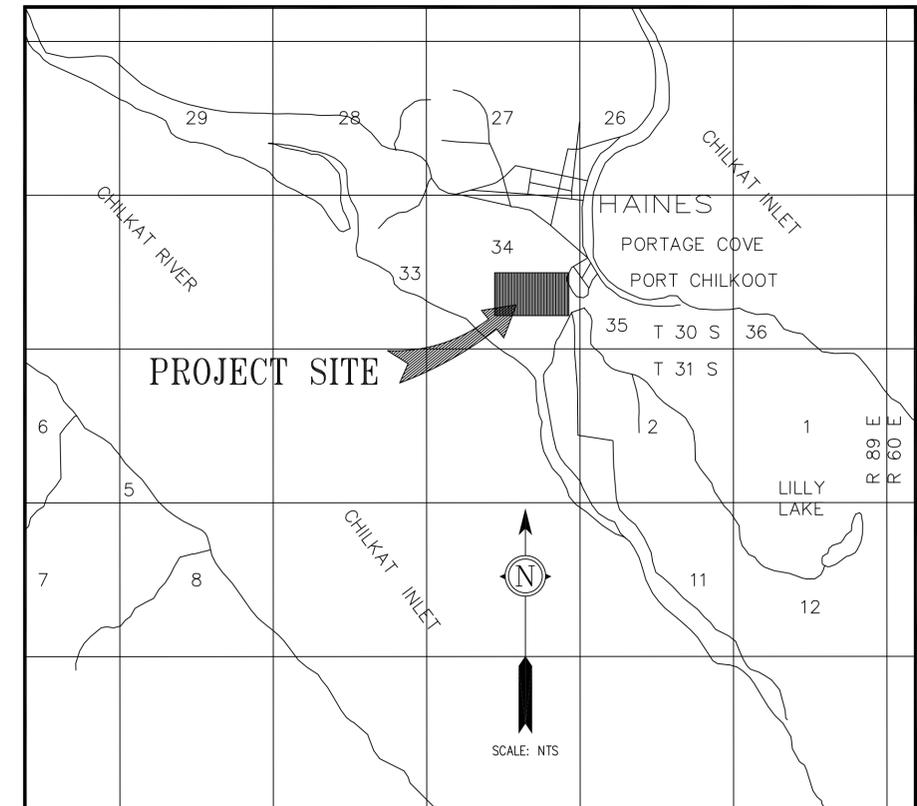
solutions@proHNS.com
www.proHNS.com



LOCATION MAP

SHEET INDEX

- COVER SHEET
- A1 PLAT OF HILL TOP SUBDIVISION
- A2 PLAT INFORMATION
- A3 ORIGINAL TOPOGRAPHY
- A4 PROPOSED TOPOGRAPHY
- A5-A9 WATER/SEWER UTILITIES AND ROAD PROFILES
- A10-12 MISCELLANEOUS DETAILS



VICINITY MAP

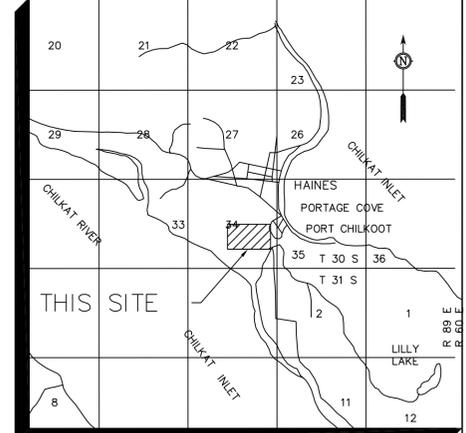
LEGEND

- ⊕ PRIMARY CONTROL MONUMENT RECOVERED (BRASS CAP)
- ▲ LEAD PLUG AND TACK IN BOLDER (RECOVERED)
(SET PORT CHILKOOT SUBDIVISION)
- △ REBAR (RECOVERED)
- YPC (RECOVERED)
- ⊙ IRON PIPE (RECOVERED)
- (R) RECORDED DATA
- (C) COMPUTED DATA
- (M) MEASURED DATA

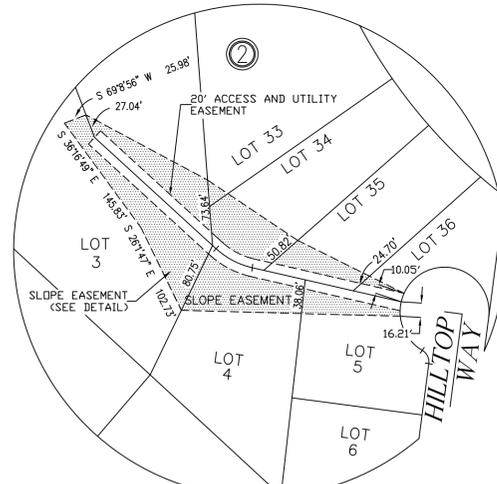
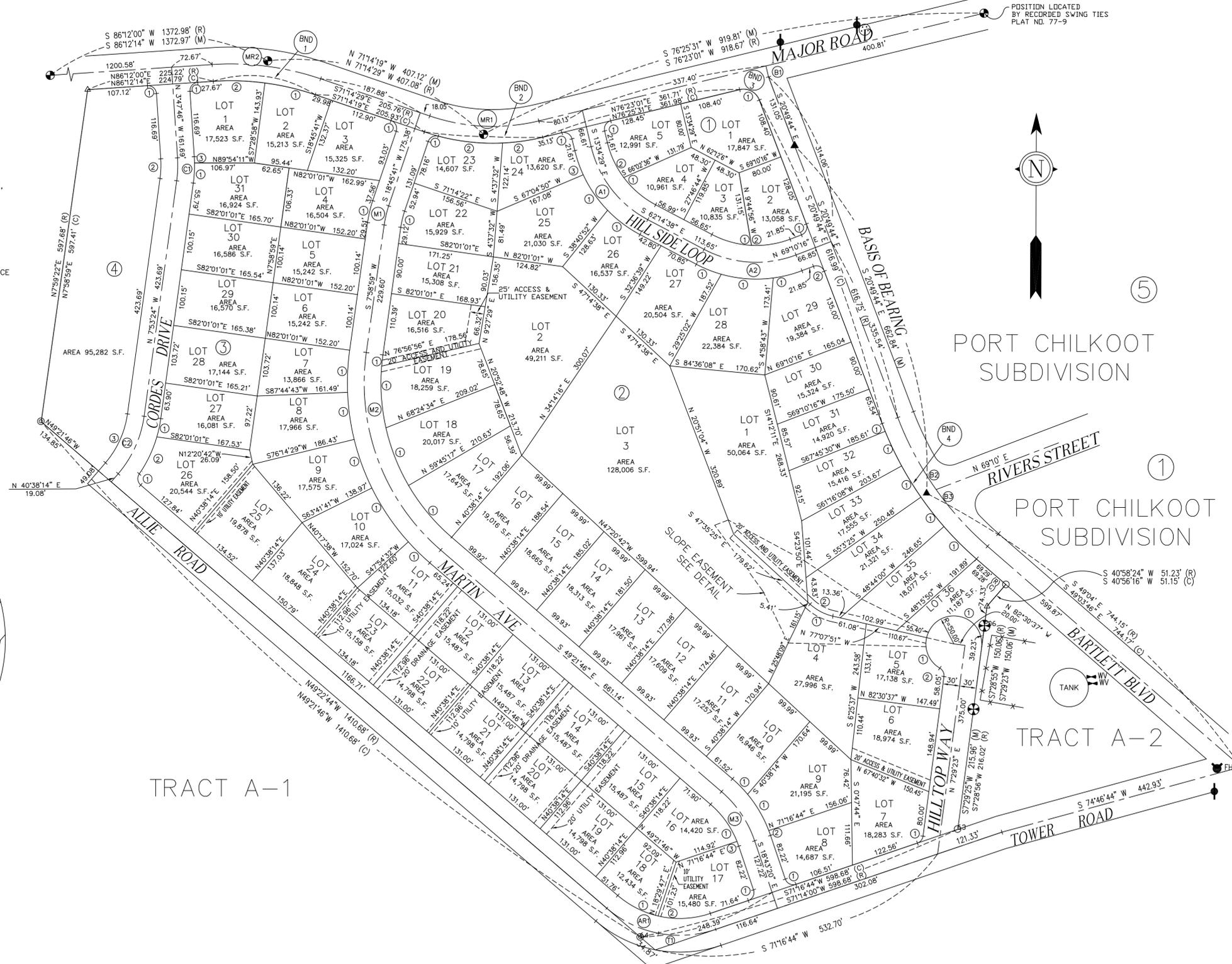
PLAT NOTES:

1. DUE TO LOW WATER PRESSURE IN THE SUBDIVISION, WATER BOOSTER PUMPS WILL BE NECESSARY FOR BLOCK 2. LOTS 2, 4, 5, 6, 7, 19, 20, 21, 31, 32, 33, 34, 35 AND 36. THESE PUMPS MUST BE INSTALLED BY THE PROPERTY OWNER BEFORE THEY WILL BE ALLOWED TO CONNECT TO THE CITY'S WATER SYSTEM.
2. DUE TO THE HEIGHT OF LOTS 1 & 3, BLOCK 2, NO MUNICIPAL WATER SERVICE WILL BE AVAILABLE TO THESE LOTS. PROPERTY OWNERS MUST EITHER DIG A WELL OR INSTALL A PUMP AND WATER LINE FROM AN AVAILABLE MAIN AT A LOWER ELEVATION. IF INSTALLING PUMP/LINE, SUCH PUMP AND LINE MUST BE INSTALLED BEFORE PROPERTY OWNER(S) WILL BE ALLOWED TO CONNECT TO THE CITY'S WATER SYSTEM. MAINTENANCE OF PUMP AND WATER LINE WILL REMAIN THE RESPONSIBILITY OF THE LOT OWNER(S) SERVED BY THIS LINE.
3. MAINTENANCE OF PRIVATE DRIVE TO LOTS 1-4, BLOCK 2 IS THE RESPONSIBILITY OF THE OWNER(S) OF THESE LOTS.
4. NO LOT IN THIS SUBDIVISION MAY BE FURTHER SUBDIVIDED EXCEPT LOT 3, BLOCK 2, WHICH MAY ONLY BE FURTHER SUBDIVIDED INTO TWO LOTS. SUBDIVIDER OF LOT 3 ACCEPTS THE RESPONSIBILITY OF PROVIDING UTILITIES AND LEGAL AND PHYSICAL ACCESS TO BOTH LOTS FORMED BY THIS SUBDIVISION.

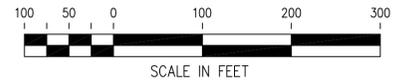
U.S.S. 2716



VICINITY MAP



SLOPE EASEMENT DETAIL



TRACT A-1

PORT CHILKOOT SUBDIVISION

PORT CHILKOOT SUBDIVISION

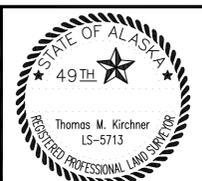
TRACT A-2

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE _____ SURVEYOR: _____

DESIGNED: P. O'NEILL
DRAWN: GDS/ALS
CHECKED: PKO



BY	DATE	REV	DESCRIPTION OF CHANGE

RECORD OF REVISIONS

proHNS LLC

ENGINEERING, TECHNICAL, AND ADMINISTRATIVE SERVICES
BOX 1041
HAINES, ALASKA 99827
solutions@proHNS.com
www.proHNS.com

PLAT OF HILL TOP SUBDIVISION

A SUBDIVISION OF THE RESUBDIVISION OF
MARTIN CORDES PROPERTY WITHIN U.S.S. 2716
AND TRACT A-3, U.S.S. 2716

HIGHLAND ESTATES INC., HC60 BOX 4800, HAINE, ALASKA 99827

SHEET A1 OF 12

CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ OWNER _____ (SIGNATURE) _____

DATE _____ OWNER _____ (SIGNATURE) _____

NOTARY'S ACKNOWLEDGEMENT

US OF AMERICA
STATE OF ALASKA
CITY OF HAINES

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 19____, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND _____ ACKNOWLEDGED TO ME THAT _____ SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA

MY COMMISSION EXPIRES _____

BOUNDARY CURVE DATA

CALCULATED DATA

Curve 1
Delta = 22'33"27"
R = 470.00'
L = 185.04'
CHD. = 183.85'
CHD. BRG. = S 82°31'02" E

RECORD DATA

Curve 1
Delta = 22'33"30"
R = 470.00'
L = 185.05'
CHD. = 183.85'
CHD. BRG. = S 82°31'14" E

Curve 2
Delta = 32'20"10"
R = 380.00'
L = 214.46'
CHD. = 211.63'
CHD. BRG. = S 87°24'24" E

Curve 2
Delta = 32'22"30"
R = 380.00'
L = 214.72'
CHD. = 211.87'
CHD. BRG. = S 87°25'45" E

Curve 3
Delta = 82'44"44"
R = 30.00'
L = 43.33'
CHD. = 39.66'
CHD. BRG. = S 62°12'06" E

Curve 3
Delta = 82'47"12"
R = 30.00'
L = 43.35'
CHD. = 39.66'
CHD. BRG. = S 62°13'24" E

Curve 4
Delta = 28'14"00"
R = 603.69'
L = 297.48'
CHD. = 294.48'
CHD. BRG. = S 34°56'44" E

Curve 4
Delta = 28'14"01"
R = 603.69'
L = 297.48'
CHD. = 294.48'
CHD. BRG. = S 34°56'45" E

LOT CURVE DATA

BLOCK 1

Lot 1 Block 1
Delta = 82'44"44"
R = 30.00'
L = 43.33'
CHD. = 39.66'
CHD. BRG. = S 62°12'06" E

Lot 2, Block 1, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 24°10'16" W

Lot 2, Block 1, Curve 2
Delta = 23'42'26"
R = 170.00'
L = 70.34'
CHD. = 69.84'
CHD. BRG. = S 81°01'32" W

Lot 3, Block 1, Curve 1
Delta = 24'53'09"
R = 170.00'
L = 16.70'
CHD. = 15.85'
CHD. BRG. = N 74°40'40" W

Lot 4, Block 1, Curve 1
Delta = 25'23'58"
R = 170.00'
L = 75.36'
CHD. = 74.75'
CHD. BRG. = N 49°32'09" W

Lot 5, Block 1, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = N 31°25'31" E

Lot 5 Block 1, Curve 2
Delta = 23'15'42"
R = 170.00'
L = 69.02'
CHD. = 68.55'
CHD. BRG. = N 25°12'19" W

BLOCK 2

Lot 4, Block 2, Curve 1
Delta = 29'32'26"
R = 90.00'
L = 46.40'
CHD. = 45.89'
CHD. BRG. = S 62°21'38" E

Lot 5, Block 2, Curve 1
Delta = 72'45'34"
R = 50.00'
L = 63.49'
CHD. = 59.31'
CHD. BRG. = S 23°30'38" E

Lot 5, Block 2, Curve 2
Delta = 67'22'48"
R = 15.00'
L = 17.64'
CHD. = 16.64'
CHD. BRG. = S 26°12'01" E

Lot 7, Block 2, Curve 1
Delta = 63'47'20"
R = 15.00'
L = 16.70'
CHD. = 15.85'
CHD. BRG. = S 39°23'04" W

Lot 8, Block 2, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = N 63°43'16" W

Lot 8, Block 2, Curve 2
Delta = 02'14'52"
R = 230.00'
L = 9.02'
CHD. = 9.02'
CHD. BRG. = N 19°50'42" W

Lot 9, Block 2, Curve 1
Delta = 18°46'48"
R = 230.00'
L = 75.39'
CHD. = 75.05'
CHD. BRG. = N 30°21'32" W

Lot 10, Block 2, Curve 1
Delta = 09°36'50"
R = 230.00'
L = 38.59'
CHD. = 38.55'
CHD. BRG. = N 44°33'21" W

Lot 17, Block 2, Curve 1
Delta = 19°06'44"
R = 362.06'
L = 120.77'
CHD. = 120.21'
CHD. BRG. = N 39°48'55" W

Lot 18, Block 2, Curve 1
Delta = 17°31'49"
R = 362.06'
L = 110.78'
CHD. = 110.34'
CHD. BRG. = N 21°35'26" W

Lot 19, Block 2, Curve 1
Delta = 17°31'49"
R = 362.06'
L = 110.78'
CHD. = 110.34'
CHD. BRG. = N 3°58'52" W

Lot 20, Block 2, Curve 1
Delta = 3°09'56"
R = 362.06'
L = 20.00'
CHD. = 20.00'
CHD. BRG. = N 6°23'02" E

Lot 22, Block 2, Curve 1
Delta = 10°00'03"
R = 170.00'
L = 29.67'
CHD. = 29.64'
CHD. BRG. = S 13°21'50" W

Lot 23, Block 2, Curve 1
Delta = 86°05'57"
R = 50.00'
L = 22.54'
CHD. = 20.48'
CHD. BRG. = N 61°48'19" E

Lot 23, Block 2, Curve 2
Delta = 17°29'32"
R = 15.00'
L = 116.01'
CHD. = 115.56'
CHD. BRG. = S 83°53'48" E

Lot 24, Block 2, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 58°34'29" E

Lot 24, Block 2, Curve 2
Delta = 10°55'53"
R = 380.00'
L = 72.56'
CHD. = 72.39'
CHD. BRG. = N 81°53'29" E

Lot 24, Block 2, Curve 3
Delta = 11°22'57"
R = 230.00'
L = 45.69'
CHD. = 45.62'
CHD. BRG. = S 19°15'57" E

Lot 25, Block 2, Curve 1
Delta = 19°12'36"
R = 230.00'
L = 77.11'
CHD. = 76.76'
CHD. BRG. = S 34°33'44" E

Lot 26, Block 2, Curve 1
Delta = 18°04'07"
R = 230.00'
L = 72.53'
CHD. = 72.23'
CHD. BRG. = S 53°12'05" E

Lot 27, Block 2, Curve 1
Delta = 12°00'23"
R = 230.00'
L = 48.20'
CHD. = 48.08'
CHD. BRG. = S 68°14'36" E

Lot 28, Block 2, Curve 1
Delta = 23°20'31"
R = 230.00'
L = 93.70'
CHD. = 93.05'
CHD. BRG. = S 85°54'49" E

Lot 29, Block 2, Curve 1
Delta = 13°14'40"
R = 230.00'
L = 53.17'
CHD. = 53.05'
CHD. BRG. = N 75°47'36" E

Lot 29, Block 2, Curve 2
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 65°49'44" E

BLOCK 3

Lot 1, Block 3, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = N 41°12'14" E

Lot 1, Block 3, Curve 2
Delta = 11°16'43"
R = 470.00'
L = 92.52'
CHD. = 92.37'
CHD. BRG. = S 88°09'24" E

Lot 1, Block 3, Curve 3
Delta = 02°48'28"
R = 230.00'
L = 11.27'
CHD. = 11.27'
CHD. BRG. = S 02°23'32" E

Lot 2, Block 3, Curve 1
Delta = 11°16'44"
R = 470.00'
L = 92.52'
CHD. = 92.37'
CHD. BRG. = S 76°52'40" E

Lot 3, Block 3, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 26°14'19" E

Lot 4, Block 3, Curve 1
Delta = 10°00'03"
R = 230.00'
L = 40.15'
CHD. = 40.10'
CHD. BRG. = S 13°21'50" W

Lot 7, Block 3, Curve 1
Delta = 10°14'16"
R = 422.06'
L = 75.41'
CHD. = 75.31'
CHD. BRG. = S 02°51'51" W

Lot 8, Block 3, Curve 1
Delta = 11°30'15"
R = 422.06'
L = 84.74'
CHD. = 84.60'
CHD. BRG. = S 8°00'24" E

Lot 9, Block 3, Curve 1
Delta = 12°32'48"
R = 422.06'
L = 92.42'
CHD. = 92.24'
CHD. BRG. = S 20°01'55" E

Lot 10, Block 3, Curve 1
Delta = 15°47'09"
R = 422.06'
L = 116.28'
CHD. = 115.19'
CHD. BRG. = S 34°11'54" E

Lot 11, Block 3, Curve 1
Delta = 7°16'18"
R = 422.06'
L = 53.57'
CHD. = 53.53'
CHD. BRG. = S 45°43'37" E

Lot 16, Block 3, Curve 1
Delta = 27°36'00"
R = 170.00'
L = 81.89'
CHD. = 81.10'
CHD. BRG. = S 35°33'46" E

BLOCK 4

Block 4, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 48°47'46" E

Block 4, Curve 2
Delta = 11°46'45"
R = 170.00'
L = 34.95'
CHD. = 34.89'
CHD. BRG. = S 2°05'37" W

Block 4, Curve 3
Delta = 32°39'14"
R = 170.00'
L = 96.89'
CHD. = 95.58'
CHD. BRG. = S 24°18'37" W

ROADWAY CURVE DATA

MAJOR ROAD

Curve 1
Delta = 32°20'10"
R = 350.00'
L = 197.53'
CHD. = 194.92'
CHD. BRG. = N 87°24'24" W

Curve 2
Delta = 22°33'27"
R = 500.00'
L = 196.85'
CHD. = 195.58'
CHD. BRG. = N 82°31'02" W

Curve 1
Delta = 00°50'30"
R = 1366.31'
L = 20.07'
CHD. = 20.07'
CHD. BRG. = S 13°09'14" E

Curve 2
Delta = 14°33'56"
R = 573.69'
L = 145.84'
CHD. = 145.45'
CHD. BRG. = S 28°06'42" E

Curve 3
Delta = 13°40'04"
R = 573.69'
L = 136.85'
CHD. = 136.53'
CHD. BRG. = S 42°13'42" E

CORDES DRIVE

Curve 1
Delta = 11°46'45"
R = 200.00'
L = 41.12'
CHD. = 41.04'
CHD. BRG. = S 02°05'37" W

Curve 2
Delta = 32°39'14"
R = 200.00'
L = 113.98'
CHD. = 112.45'
CHD. BRG. = S 24°18'37" W

MARTIN AVE

Curve 1
Delta = 10°00'03"
R = 200.00'
L = 34.91'
CHD. = 34.87'
CHD. BRG. = S 13°21'50" W

Curve 2
Delta = 57°20'46"
R = 392.06'
L = 392.40'
CHD. = 376.23'
CHD. BRG. = S 20°41'23" E

Curve 3
Delta = 30°38'30"
R = 200.00'
L = 106.96'
CHD. = 105.69'
CHD. BRG. = S 34°02'31" E

ALLIE ROAD

Curve 1
Delta = 29°40'45"
R = 200.00'
L = 103.60'
CHD. = 102.45'
CHD. BRG. = S 64°12'09" E

TOWER ROAD

Curve 1
Delta = 29°40'45"
R = 200.00'
L = 103.60'
CHD. = 102.45'
CHD. BRG. = N 86°07'06" E

HILL SIDE LOOP

Curve 1
Delta = 48°39'40"
R = 200.00'
L = 169.86'
CHD. = 164.80'
CHD. BRG. = S 37°54'19" E

Curve 2
Delta = 48°35'31"
R = 200.00'
L = 169.62'
CHD. = 164.58'
CHD. BRG. = S 86°31'56" E

BLOCK 1

Lot 1 Block 1
Delta = 82'44"44"
R = 30.00'
L = 43.33'
CHD. = 39.66'
CHD. BRG. = S 62°12'06" E

Lot 2, Block 1, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = S 24°10'16" W

Lot 2, Block 1, Curve 2
Delta = 23'42'26"
R = 170.00'
L = 70.34'
CHD. = 69.84'
CHD. BRG. = S 81°01'32" W

Lot 3, Block 1, Curve 1
Delta = 24'53'09"
R = 170.00'
L = 16.70'
CHD. = 15.85'
CHD. BRG. = N 74°40'40" W

Lot 4, Block 1, Curve 1
Delta = 25'23'58"
R = 170.00'
L = 75.36'
CHD. = 74.75'
CHD. BRG. = N 49°32'09" W

Lot 5, Block 1, Curve 1
Delta = 90°00'00"
R = 15.00'
L = 23.56'
CHD. = 21.21'
CHD. BRG. = N 31°25'31" E

Lot 5 Block 1, Curve 2
Delta = 23'15'42"
R = 170.00'
L = 69.02'
CHD. = 68.55'
CHD. BRG. = N 25°12'19" W

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN _____ A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE _____ SURVEYOR _____

DESIGNED: P. O'NEILL
DRAWN: GDS/JLS
CHECKED: PKO



proHNS LLC
ENGINEERING, TECHNICAL, AND ADMINISTRATIVE SERVICES

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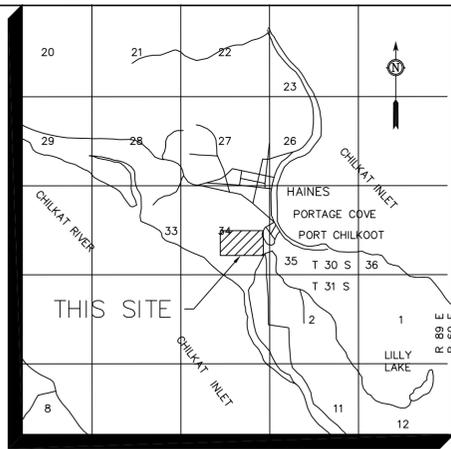
BY	DATE	REV	DESCRIPTION OF CHANGE

RECORD OF REVISIONS

HILL TOP SUBDIVISION

*A SUBDIVISION OF THE RESUBDIVISION OF
MARTIN CORDES PROPERTY WITHIN U.S.S. 2716
AND TRACT A-3, U.S.S. 2716*

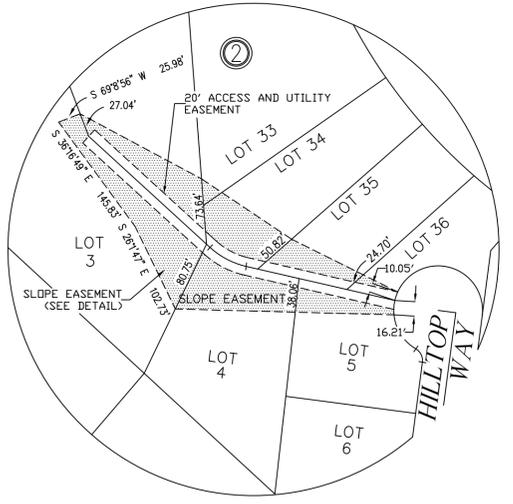
HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA 99827



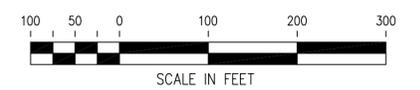
VICINITY MAP

LEGEND

- PRIMARY CONTROL MONUMENT RECOVERED (BRASS CAP)
- LEAD PLUG AND TACK IN BOLDER (RECOVERED)
(SET PORT CHILKOOT SUBDIVISION)
- FH FIRE HYDRANT
- POWER POLE
- EXISTING MANHOLE
- REBAR (RECOVERED)
- YPC (RECOVERED)
- IRON PIPE (RECOVERED)
- FENCE LINE
- (R) RECORDED DATA
- (C) COMPUTED DATA
- (M) MEASURED DATA



SLOPE EASEMENT DETAIL



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RECORD OF REVISIONS			



DESIGNED: P. O'NEILL
 DRAWN: GDS
 CHECKED: PKO

SURVEYOR'S CERTIFICATE

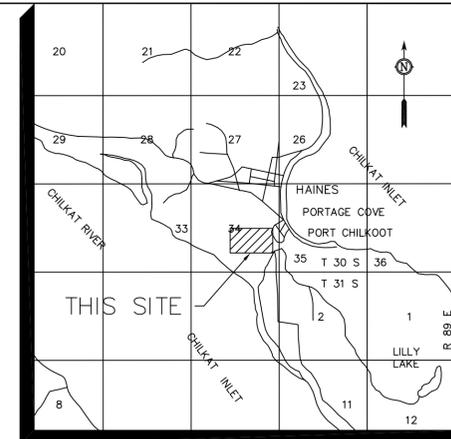
I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE _____ SURVEYOR: _____

HILL TOP SUBDIVISION ORIGINAL CONTOURS

A SUBDIVISION OF THE RESUBDIVISION OF
 MARTIN CORDES PROPERTY WITHIN U.S.S. 2716
 AND TRACT A-3, U.S.S. 2716

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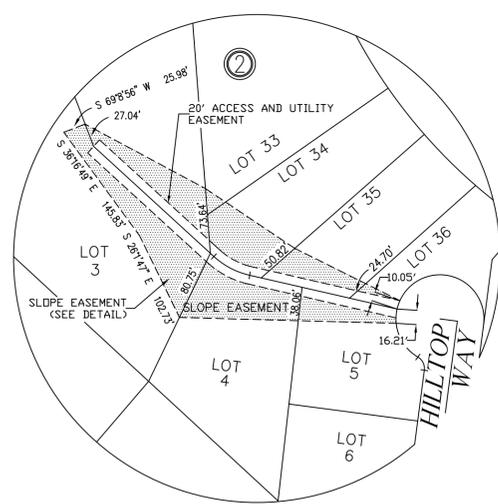
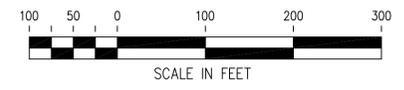


VICINITY MAP



LEGEND

- ⊕ PRIMARY CONTROL MONUMENT RECOVERED (BRASS CAP)
- SECONDARY MONUMENT (RECOVERED)
- ⊙ SECONDARY MONUMENT (RECOVERED)
- ▲ LEAD PLUG AND TACK IN BOLDER (RECOVERED)
(SET PORT CHILKOOT SUBDIVISION)
- FH FIRE HYDRANT
- ⚡ POWER POLE
- ⊙ MANHOLE
- △ REBAR (RECOVERED)
- YPC (RECOVERED)
- ⊙ IRON PIPE (RECOVERED)
- x—x— FENCE LINE
- (R) RECORDED DATA
- (C) COMPUTED DATA
- (M) MEASURED DATA



SLOPE EASEMENT DETAIL

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BY	DATE	REV	DESCRIPTION OF CHANGE

RECORD OF REVISIONS



DESIGNED: P. O'NEILL
 DRAWN: GDS
 CHECKED: EKO

SURVEYOR'S CERTIFICATE

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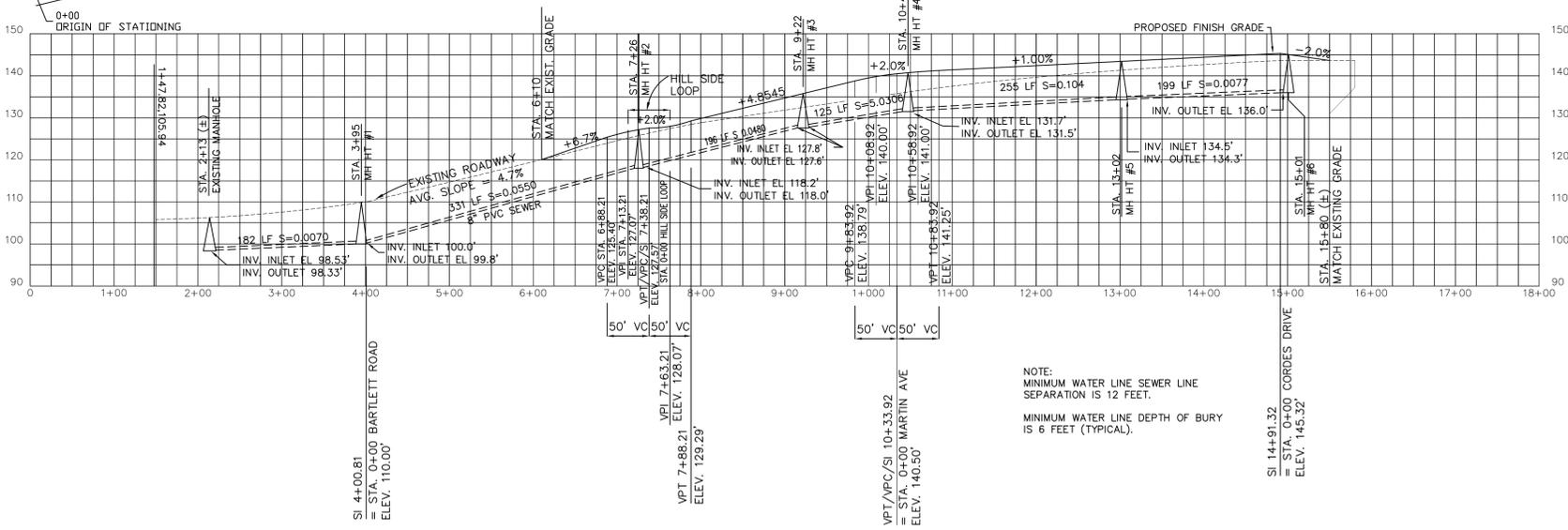
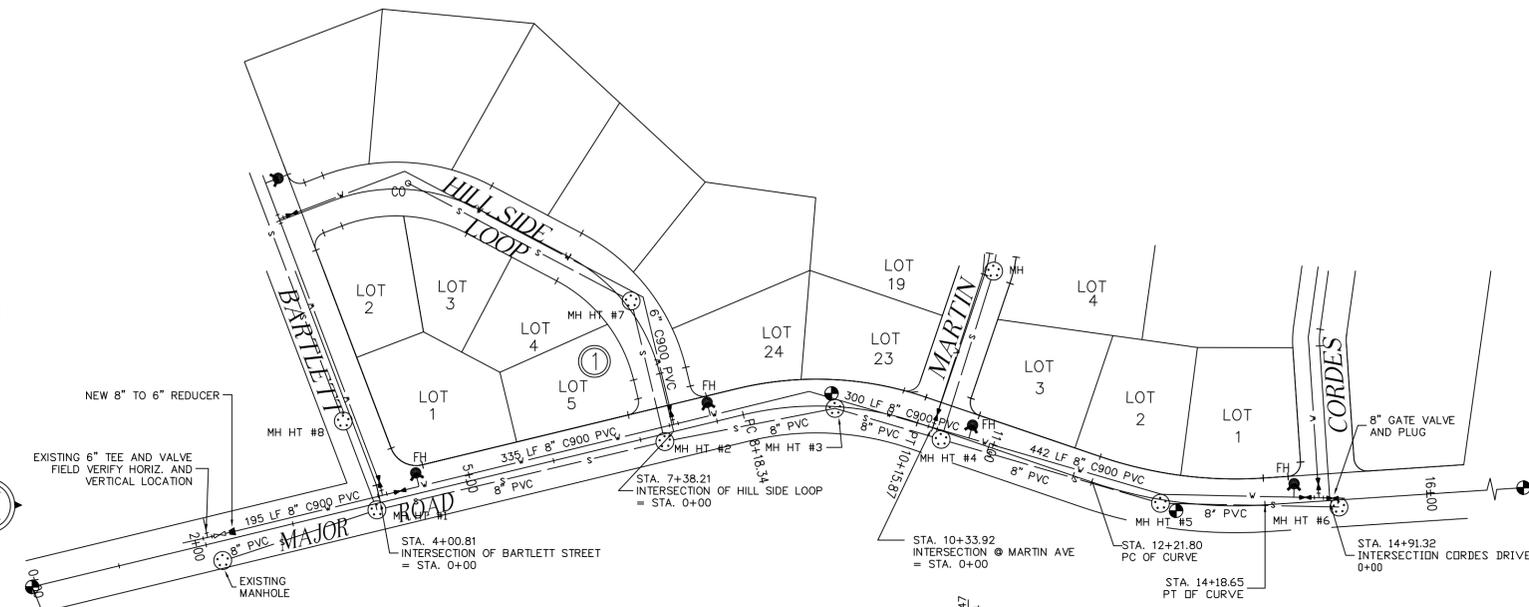
DATE _____ SURVEYOR: _____

HILL TOP SUBDIVISION PROPOSED TOPOGRAPHY

A SUBDIVISION OF THE RESUBDIVISION OF
 MARTIN COODES PROPERTY WITHIN U.S.S. 2716
 AND TRACT A-3, U.S.S. 2716

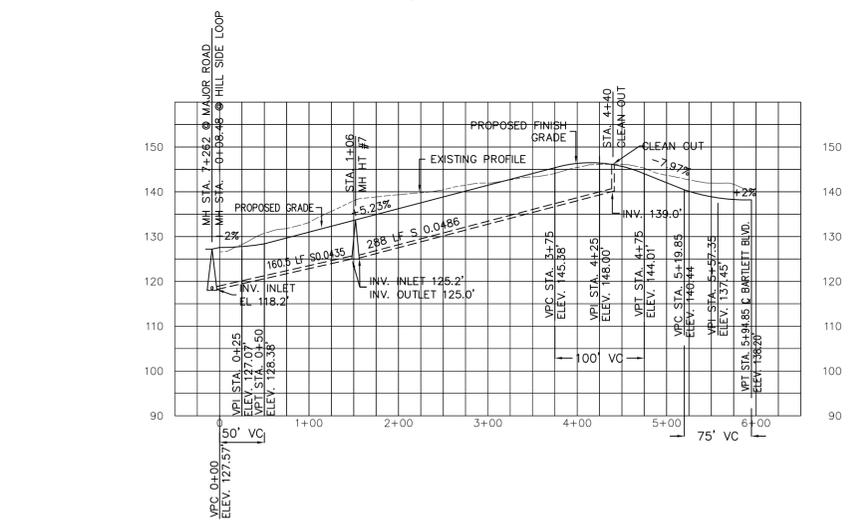
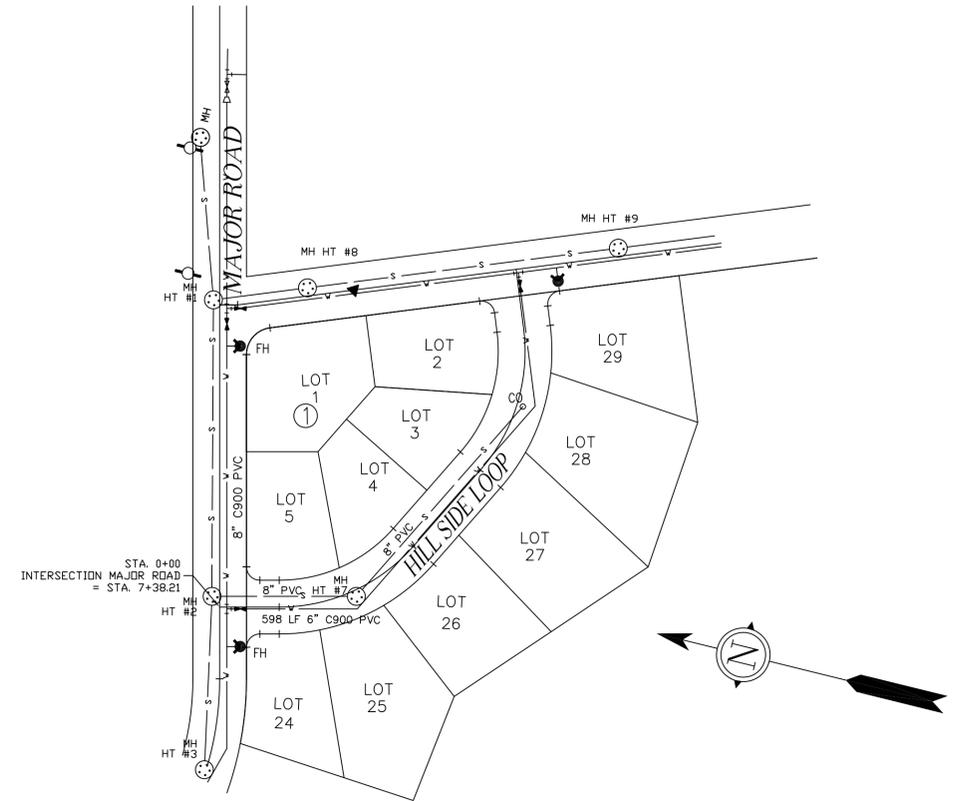
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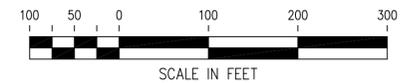


NOTE:
MINIMUM WATER LINE SEWER LINE
SEPARATION IS 12 FEET.
MINIMUM WATER LINE DEPTH OF BURY
IS 6 FEET (TYPICAL).

MAJOR ROAD



HILL SIDE LOOP



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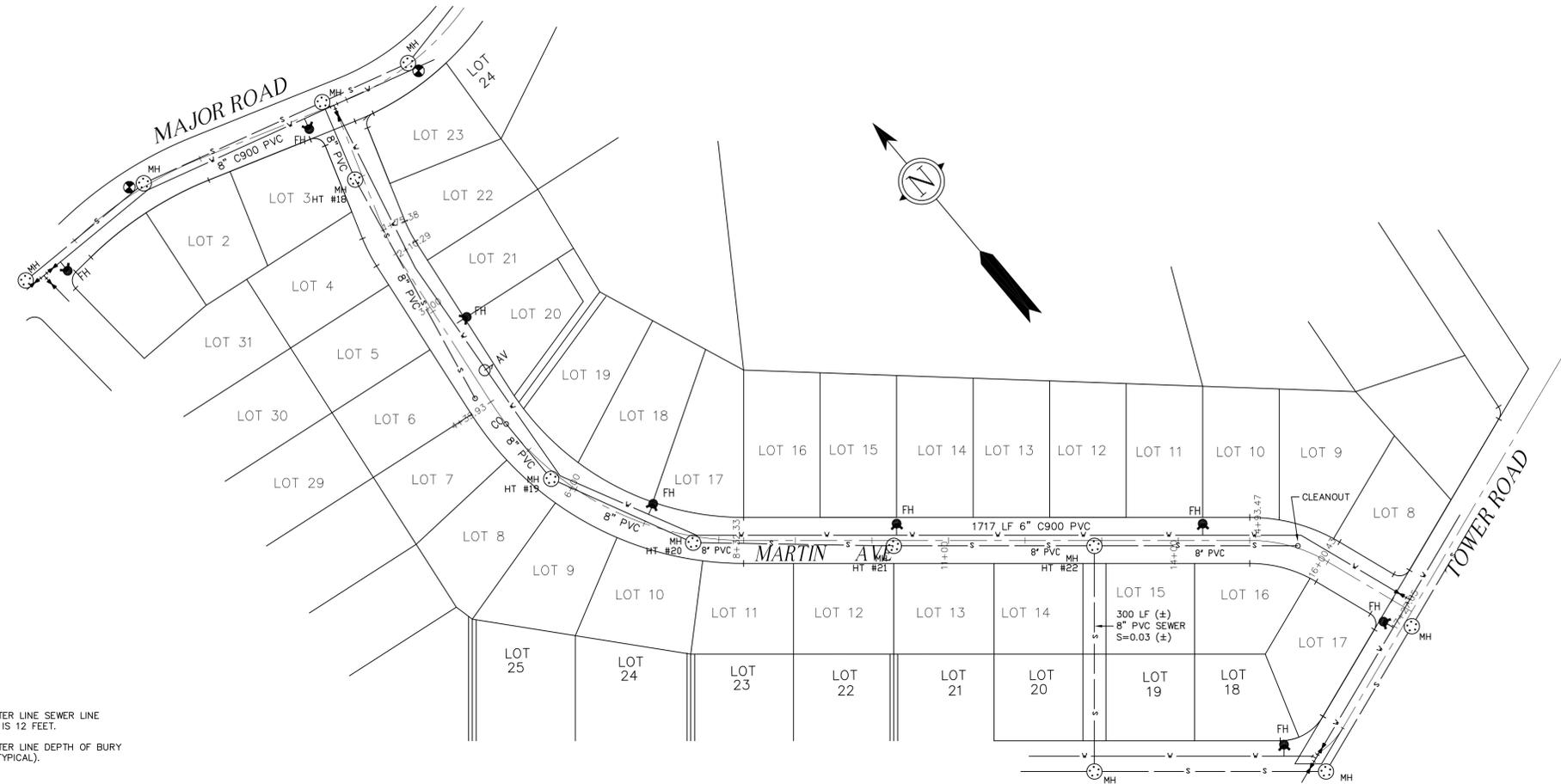


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CHECKED: PKO

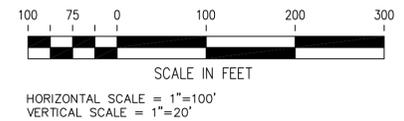
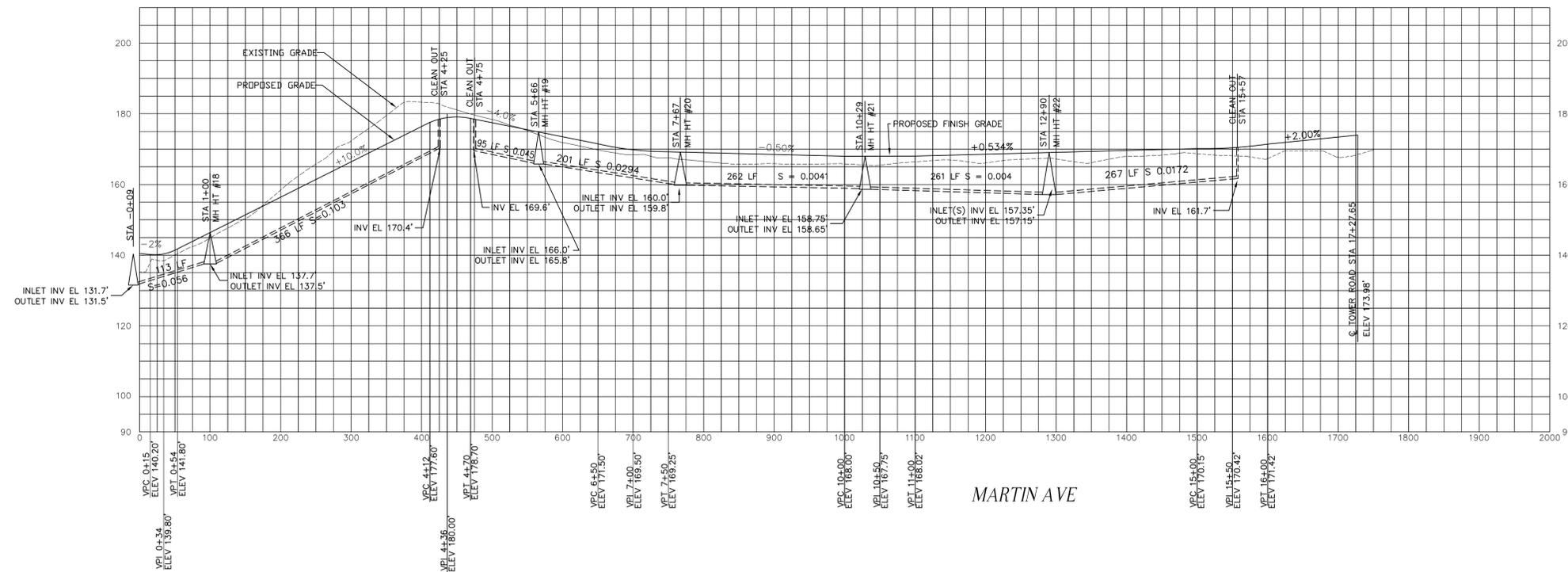
WATER/SEWER UTILITIES AND ROAD PROFILE

PROJECT: HILL TOP SUBDIVISION

HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA, 99827



NOTE:
 MINIMUM WATER LINE SEWER LINE SEPARATION IS 12 FEET.
 MINIMUM WATER LINE DEPTH OF BURY IS 6 FEET (TYPICAL).



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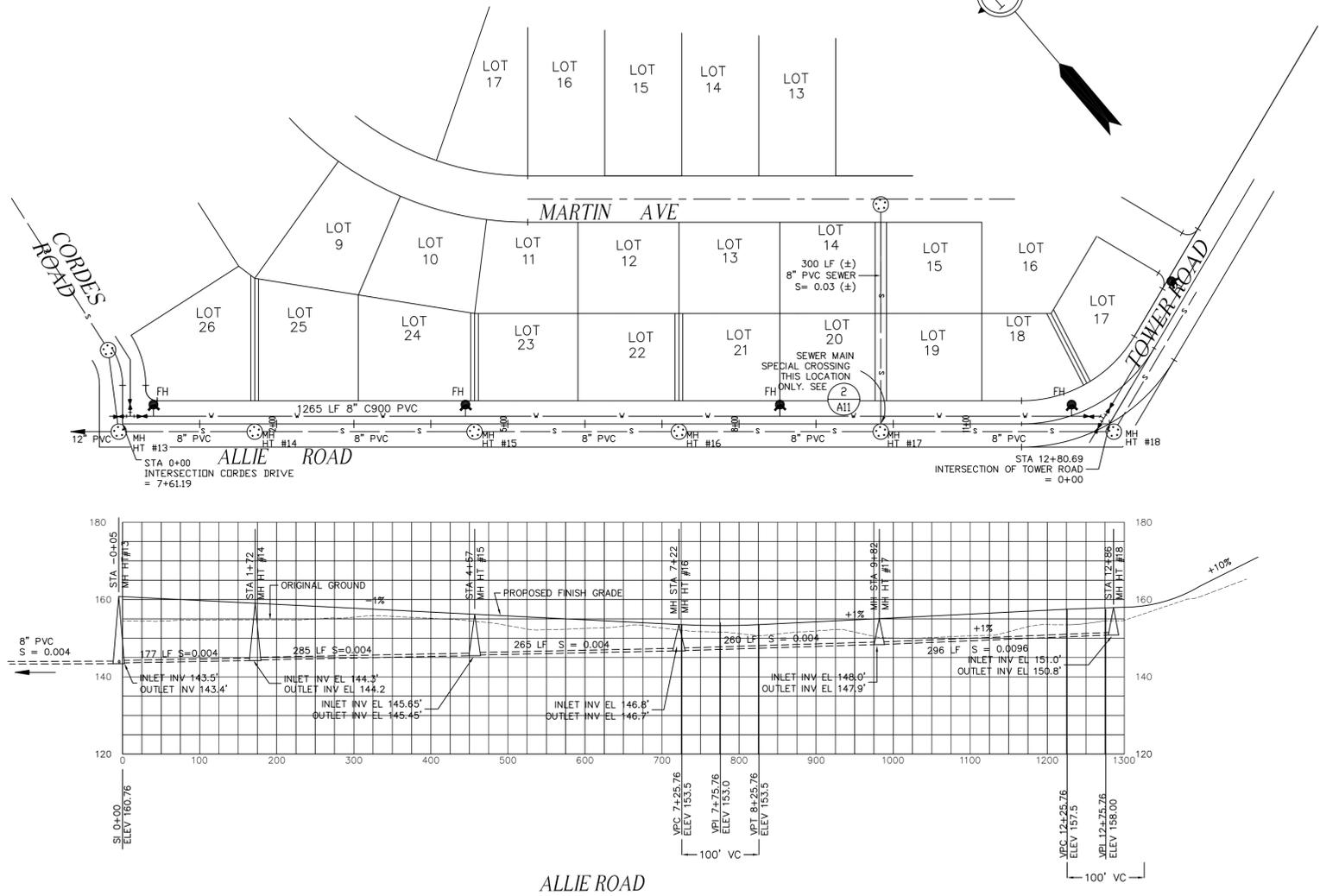
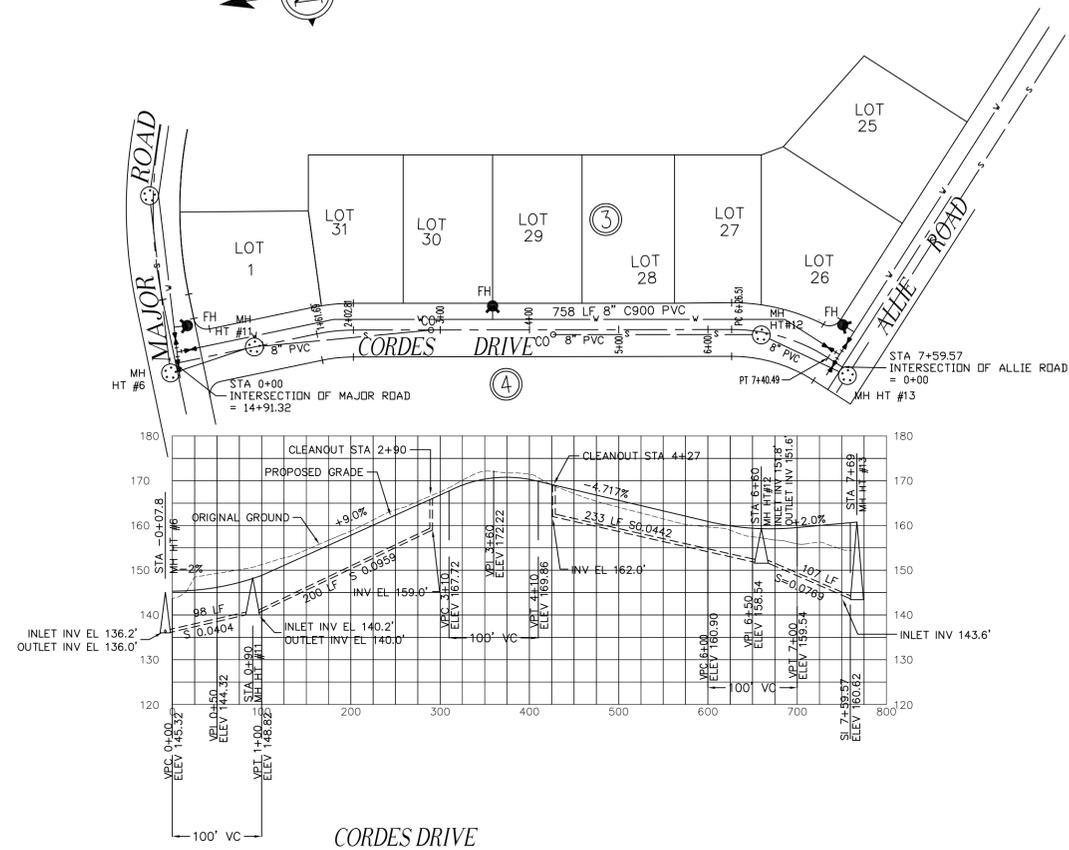
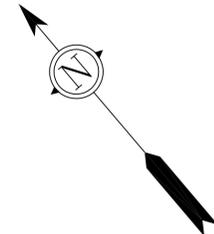
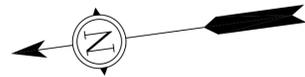


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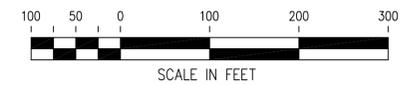
WATER/SEWER UTILITIES AND ROAD PROFILE

PROJECT: *HILL TOP SUBDIVISION*

HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA, 99827



NOTE:
MINIMUM WATER LINE SEWER LINE
SEPARATION IS 12 FEET.
MINIMUM WATER LINE DEPTH OF BURY
IS 6 FEET (TYPICAL).



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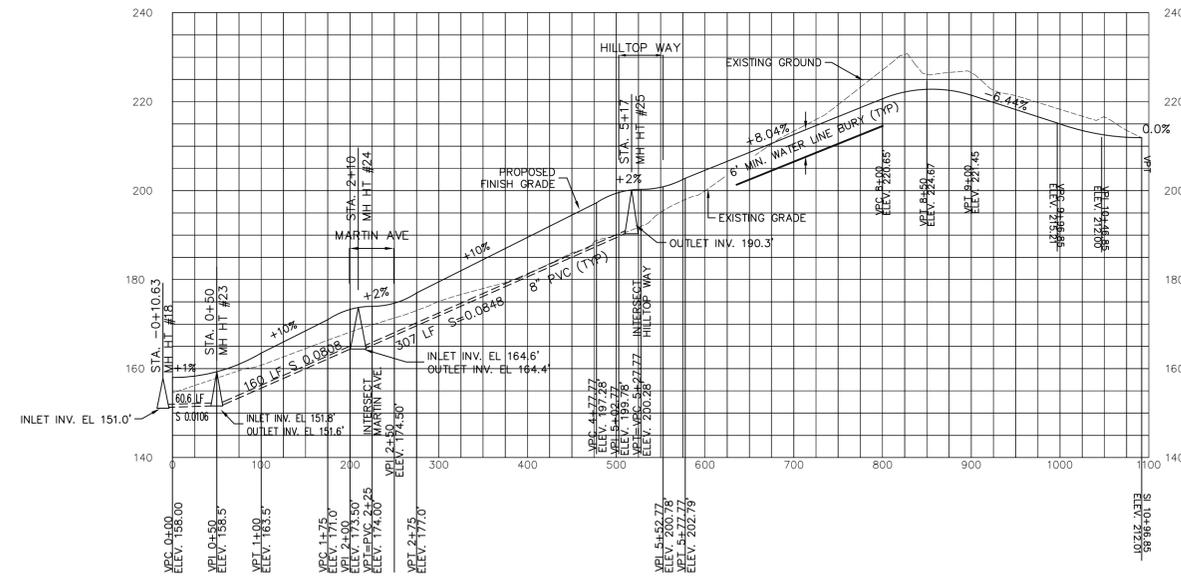
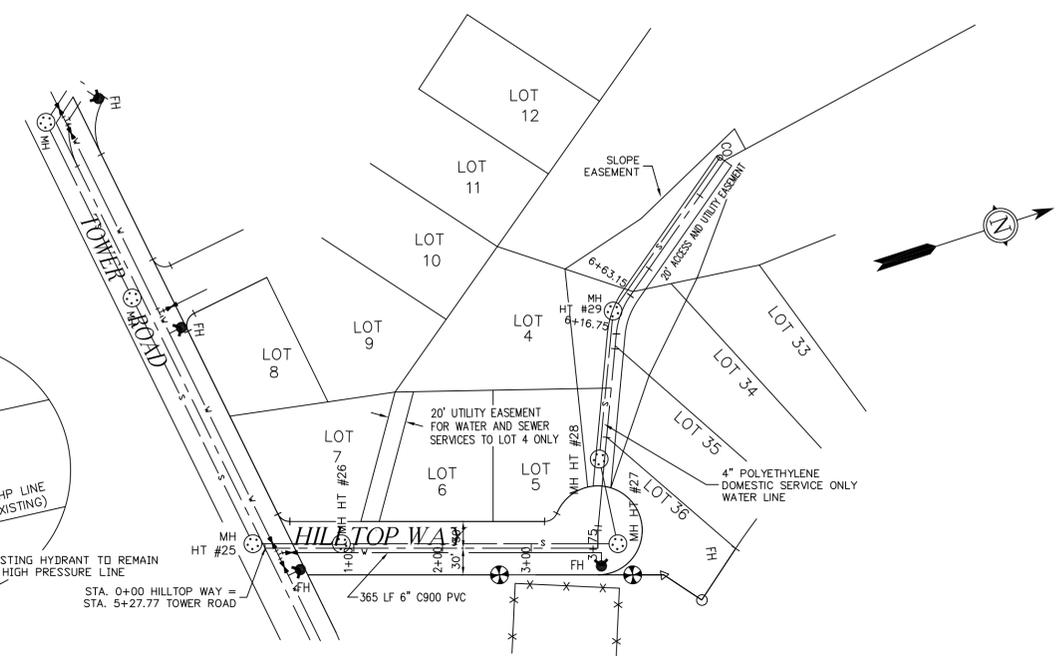
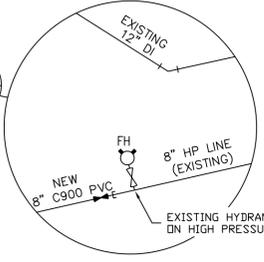
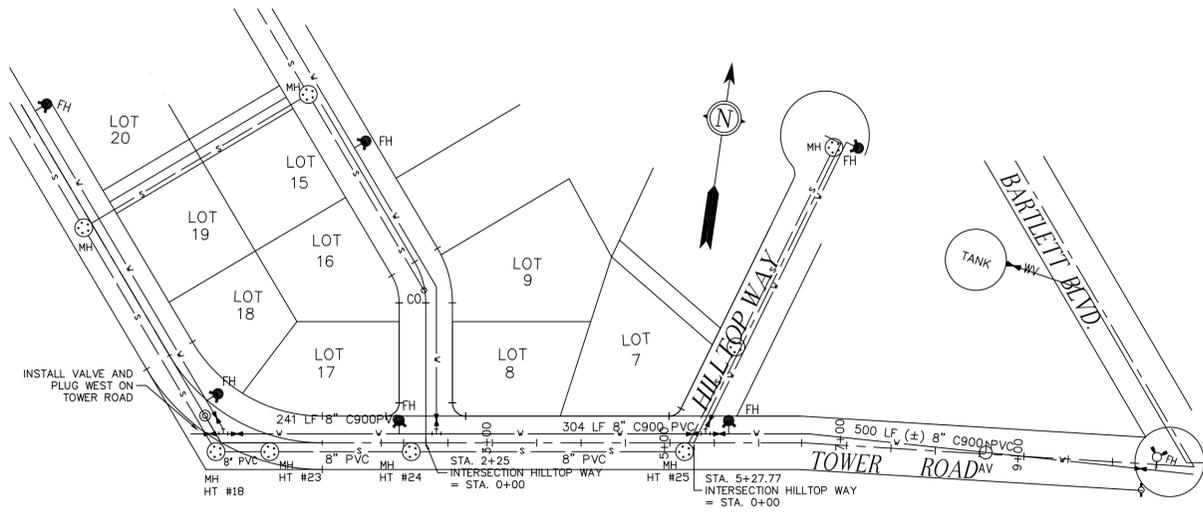


DESIGNED: P. O'NEILL/JLS
DRAWN: GDS/JLS
CHECKED: PKQ

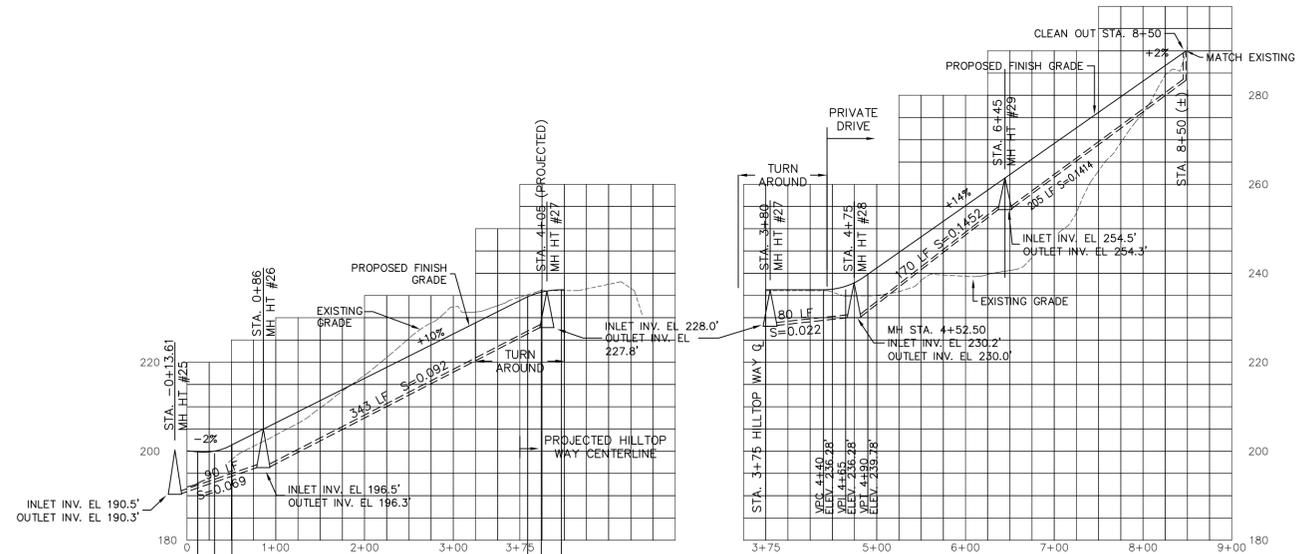
WATER/SEWER UTILITIES AND ROAD PROFILE

PROJECT: *HILL TOP SUBDIVISION*

CLIENT: NORTHERN TIMBER, PO BOX 1129, HAINES, ALASKA, 99827



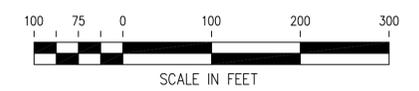
TOWER ROAD



HILLTOP WAY

PRIVATE DRIVE

NOTE:
 MINIMUM WATER LINE SEWER LINE SEPARATION IS 12 FEET.
 MINIMUM WATER LINE DEPTH OF BURY IS 6 FEET (TYPICAL).



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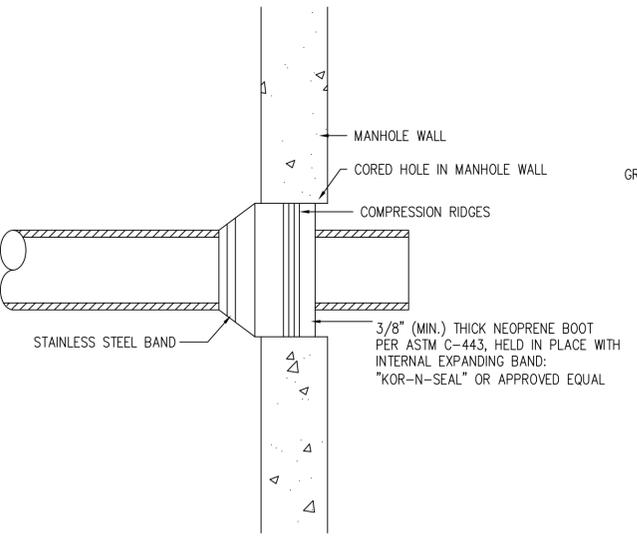


DESIGNED: P. O'NEILL/ILS
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 CHECKED: PKO

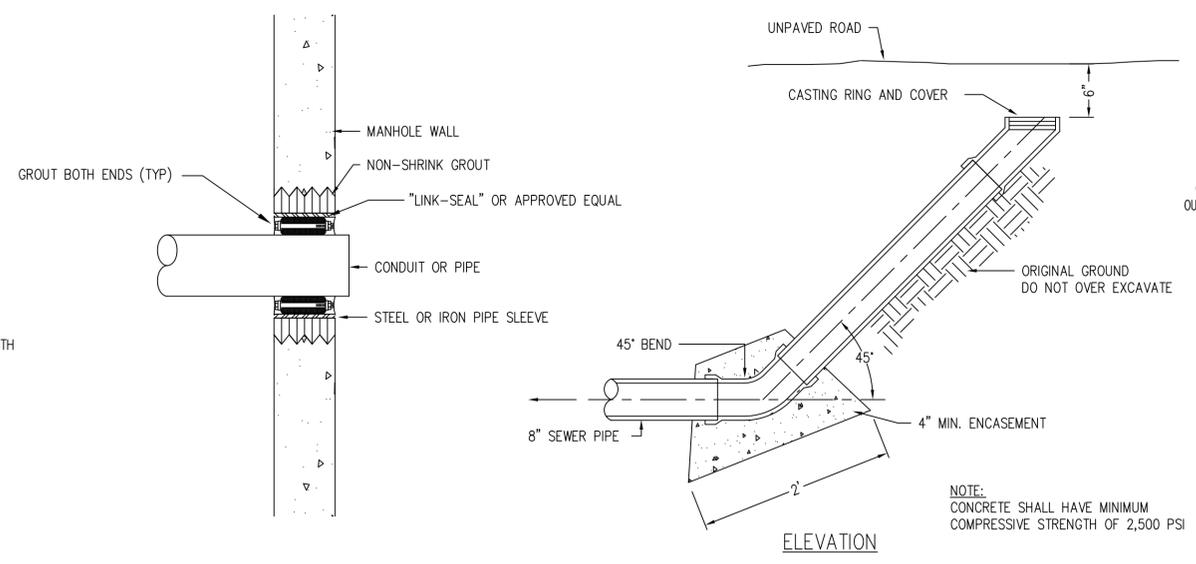
WATER/SEWER UTILITIES AND ROAD PROFILE

PROJECT: HILL TOP SUBDIVISION

HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA, 99827

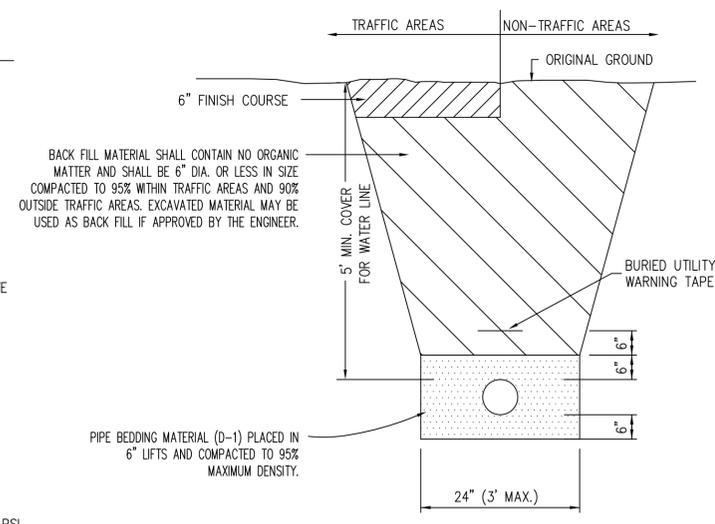


MANHOLE FLEXIBLE SEAL CONNECTION 1
NTS



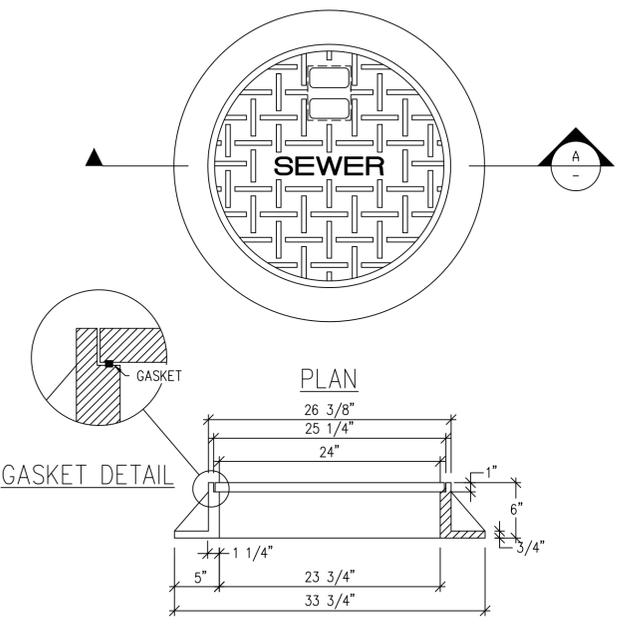
PENETRATION FOR EXISTING MANHOLE 2
NTS

SANITARY SEWER CLEAN OUT 3
NTS



TYPICAL TRENCH SECTION 4
NTS

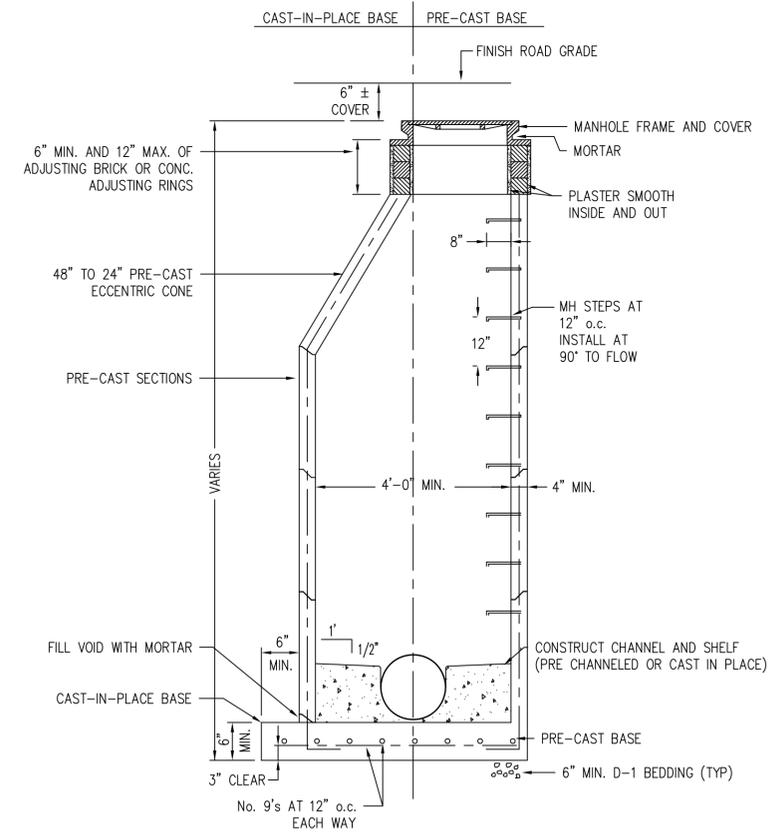
- NOTES:
- BACK FILL MATERIAL SHALL BE PLACED IN 12" MAX. LIFTS.
 - TRENCH EXCAVATION AND SHORING SHALL COMPLY WITH LOCAL, STATE, AND OSHA REGULATIONS AND REQUIREMENTS.
 - IF UNSUITABLE PIPE FOUNDATION MATERIAL IS ENCOUNTERED DURING EXCAVATION, ENGINEER MAY DIRECT THE CONTRACTOR TO OVER-EXCAVATE AND BACK FILL WITH SUITABLE MATERIAL.
 - ALL ENCOUNTERED DITCH LINES, SHALL BE RESHAPED IN SUCH A MANNER TO ALLOW POSITIVE DRAINAGE TO MATCH PRE-CONSTRUCTION CONDITIONS.



SECTION A

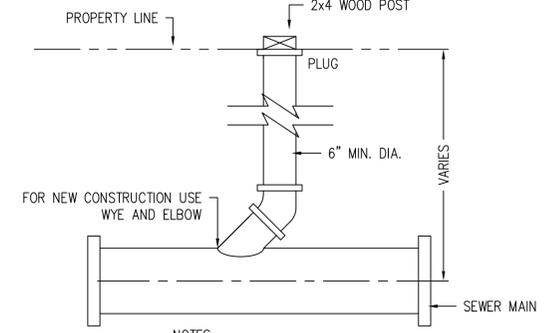
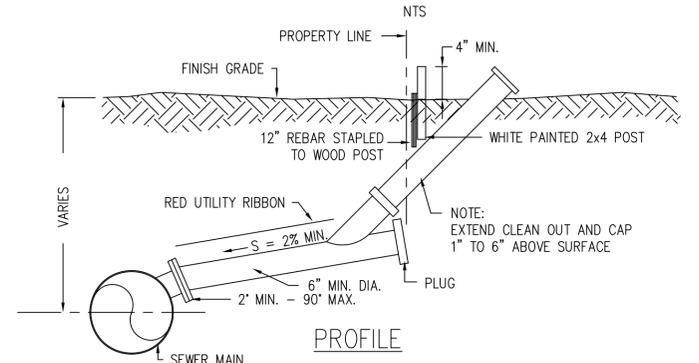
- NOTES:
- COVER AND SEALING GASKET SHALL BE "NEENAH SELF SEALING LIDS" OR APPROVED EQUAL.
 - FRAME MUST BE MACHINED TO FIT WATERTIGHT COVER.
 - COVER SHALL HAVE WORD "SEWER" CAST IN AND SHALL BE PROVIDED WITH INTEGRAL LIFT HANDLE.
 - FRAME AND COVER DIMENSIONS SHALL BE IN ACCORDANCE WITH OLYMPIC CONSTRUCTION CASTINGS NO. MH30, OR AN APPROVED EQUIVALENT.

MANHOLE FRAME AND COVER 6
NTS



TYPICAL SANITARY SEWER DETAIL 7
NTS

- NOTES:
- ALL MANHOLE SECTIONS SHALL CONFORM TO ASTM C-478-69, INCLUDING MINIMUM STEEL REQUIREMENTS.
 - ALL JOINTS SHALL INCLUDE A RUBBER GASKET JOINT SUCH AS "RAM-NEK" OR EQUAL. THE EXTERIOR OF ALL JOINTS SHALL BE PLASTERED WITH AT LEAST 1" OF BENTONITE CEMENT SEALING PLASTER.
 - EITHER A PRE-CAST OR CAST-IN-PLACE BASE SECTION MAY BE UTILIZED.
 - CHANNEL DEPTH SHALL BE EQUAL TO THE PIPE DIA. OR GREATER. CHANNEL AND SHELF SHALL RECEIVE A BROOM FINISH.
 - ENDS OF PIPE NOT TO EXTEND MORE THAN 3" INTO THE MANHOLE.
 - UTILIZE "JET-SET", "ALL CRETE", OR EQUAL, TO SEAL MANHOLE AT PIPE CONNECTIONS. NO REBAR TO EXTEND INTO PIPE OPENINGS.
 - MANHOLE TO BE TESTED FOR WATER TIGHTNESS BY THE CONTRACTOR, PER TEST STANDARDS OF THE CITY OF HAINES.



- NOTES:
- SERVICE CONNECT 4" MIN. DIA.
 - ACCEPTABLE PIPE WITHIN R/W: PVC SDR 35

PLAN
SEWER LATERAL CONNECTION 8
NTS

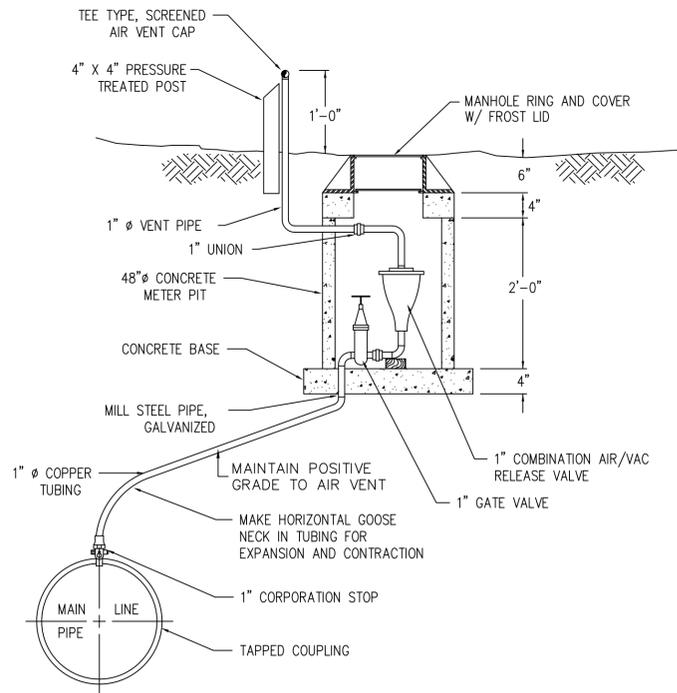
proHNS LLC
ENGINEERING, TECHNICAL, AND ADMINISTRATIVE SERVICES
P.O. BOX 1041
HAINES, ALASKA 99827
solutions@proHNS.com
www.proHNS.com

BY	DATE	REV	DESCRIPTION OF CHANGE
RECORD OF REVISIONS			

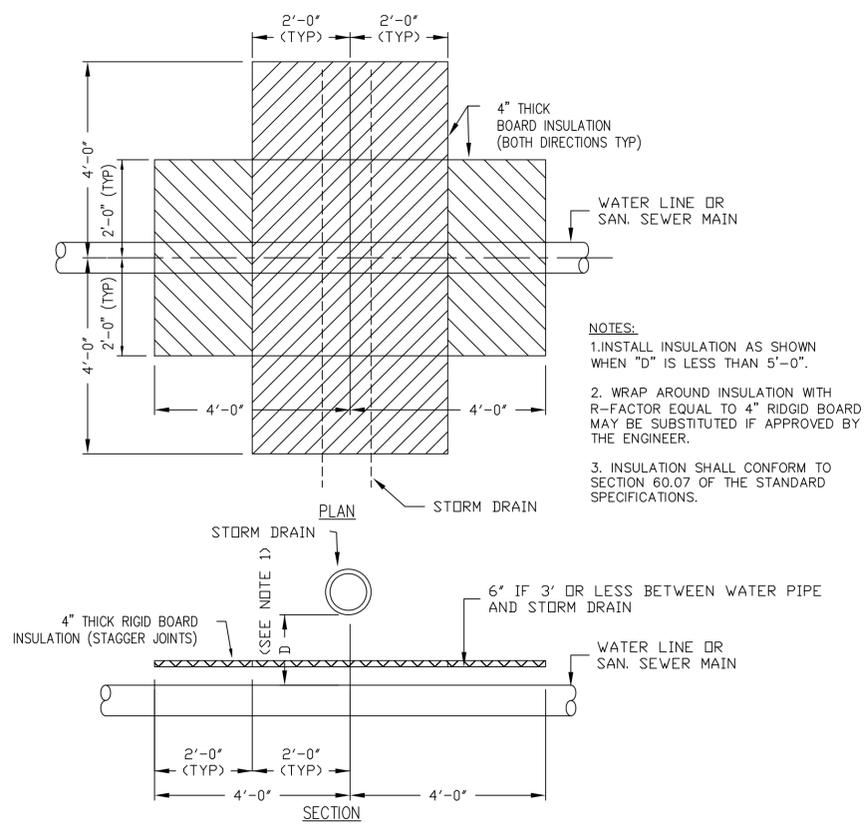


DESIGNED: P. O'NEILL/JLS
DRAWN: GDS/JLS
CHECKED: PKO

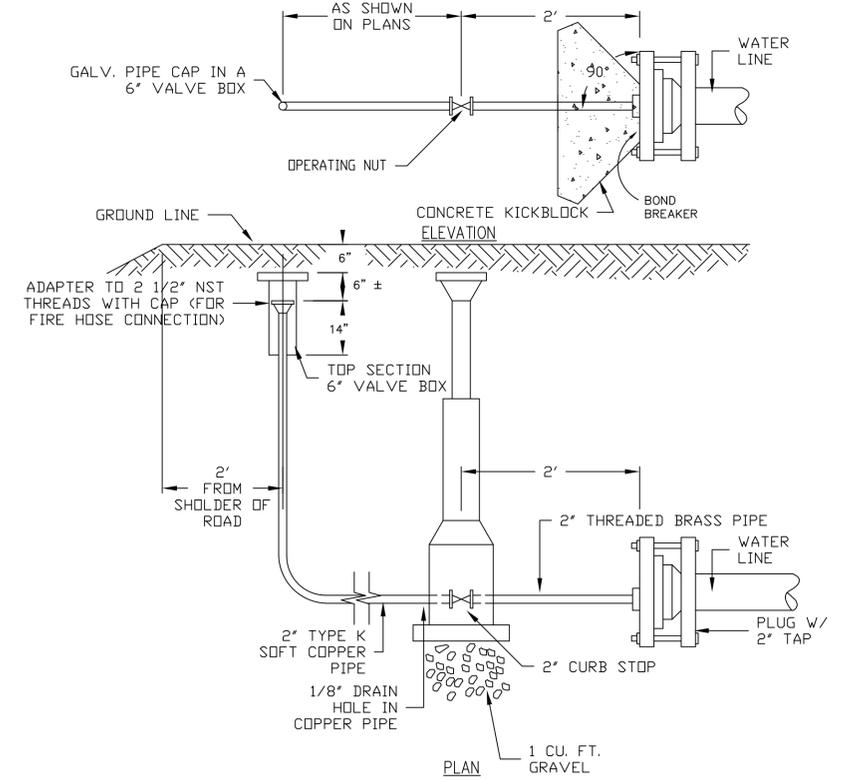
MISCELLANEOUS DETAILS
PROJECT: *STANDARD DETAILS*
HILL TOP SUBDIVISION
HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA 99827



COMBINATION AIR INLET AND AIR RELEASE VALVE ASSEMBLY
NTS



RIGID INSULATION DETAIL
NTS



BLOWOFF INSTALLATION
NTS

THRUST BLOCK MINIMUM SIZE TABLE
For Bends Greater Than 45° Tee Branches & Crosses

Pipe Diam. (In.)	Water Pressure in Pipe (P.S.I.)			
	50	100	150	250
	Bearing Area (Sq. Ft.)	Concrete Volume (Cu. Ft.)	Bearing Area (Sq. Ft.)	Concrete Volume (Cu. Ft.)
2	0.5	0.5	0.8	1.0
3	0.6	0.8	1.0	1.3
4	0.8	1.0	1.6	1.5
6	1.0	1.3	1.9	3.2
8	1.1	1.5	3.2	5.4
10	1.7	3.2	4.9	8.3
12	2.4	5.2	7.1	11.8
14	3.2	7.0	9.8	16.1
16	4.1	8.0	12.3	20.5
18	5.4	11.0	16.2	27.1
20	6.8	15.0	20.6	34.4
24	8.2	19.0	25.3	42.0

For Bends 45° or Less

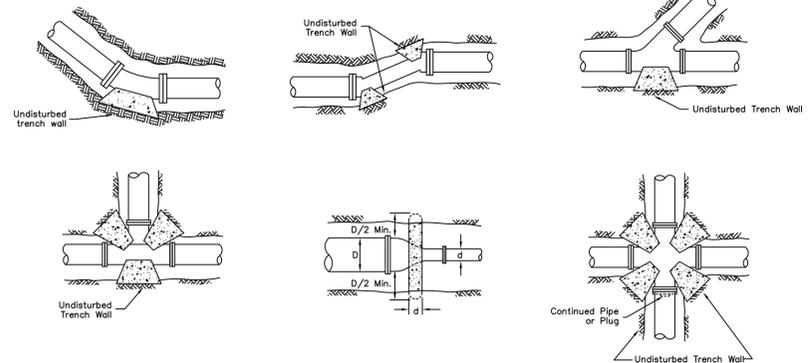
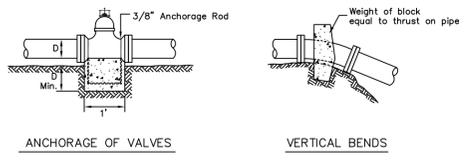
2	0.5	0.5	0.5	0.5	0.6	0.8
3	0.5	0.5	0.7	0.9	0.8	1.0
4	0.5	0.5	0.9	1.1	1.0	1.5
6	0.6	0.8	1.2	2.0	1.7	3.2
8	0.8	1.0	1.8	3.6	2.9	6.0
10	1.0	1.3	2.7	5.8	4.5	9.0
12	1.3	2.5	3.8	7.5	6.4	14.0
14	1.7	3.2	5.2	11.0	8.6	19.0
16	2.2	4.5	6.7	15.0	11.2	24.0
18	2.8	5.9	8.5	19.0	14.1	30.0
20	3.5	7.0	10.5	22.2	17.5	35.0
24	4.2	8.0	12.8	26.0	21.5	40.0

VALVES REQUIRING ANCHORAGE

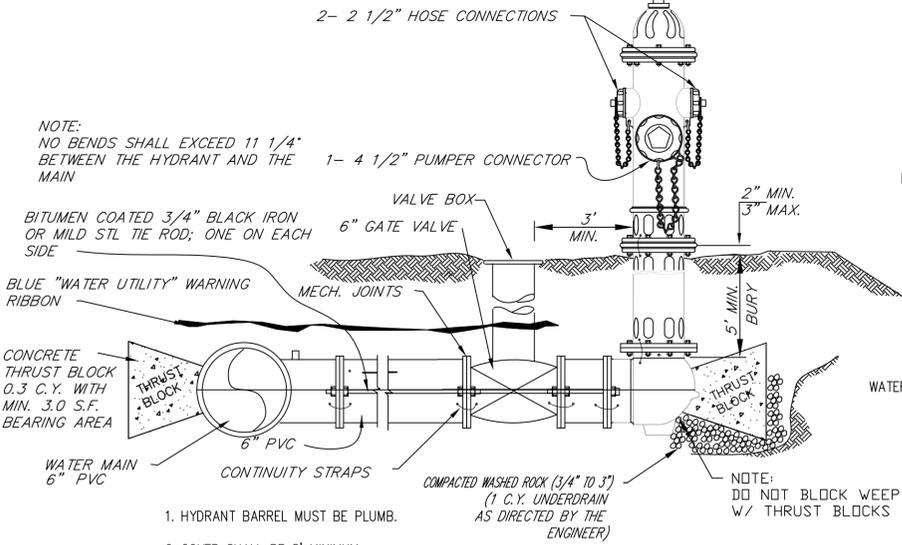
WORKING PRESSURE (P.S.I.)	VALVES REQUIRING ANCHORAGE
50 - 100	12 inch and up
101 - 150	8 inch and up
151 - 200	All Sizes

THRUST AT VERTICAL BEND PER DEGREE DEFLECTION AT 100 P.S.I. WATER PRESSURE

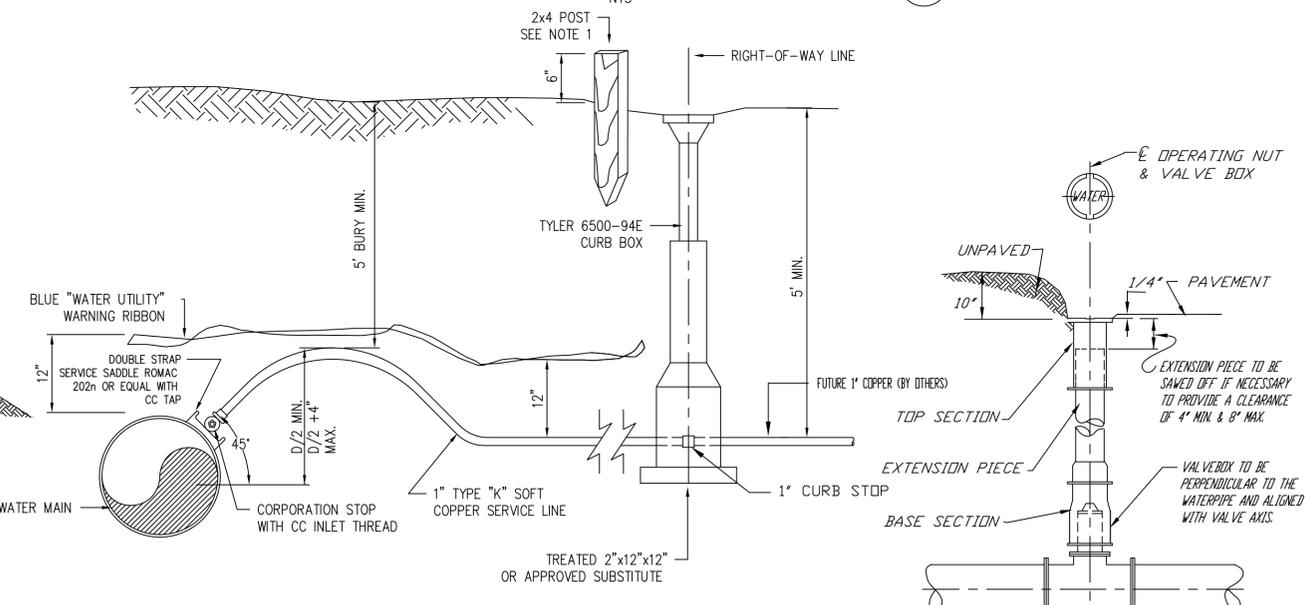
PIPE SIZE	THRUST (LB.)	PIPE SIZE	THRUST (LB.)
4"	35	10"	197
6"	72	12"	278
8"	122	14"	377
16"	486		



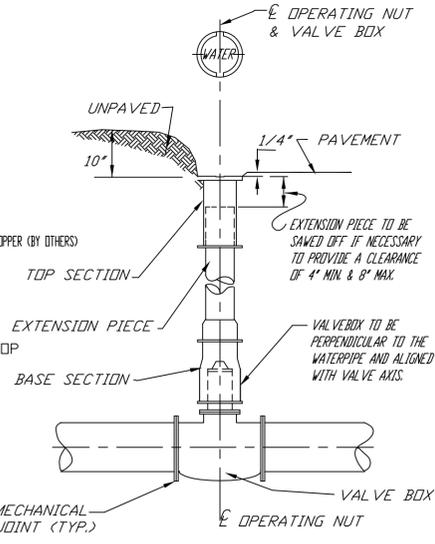
PLACEMENT OF THRUST BLOCKS
NTS



FIRE HYDRANT
NTS



WATER SERVICE CONNECTION
NTS



TYPICAL VALVE BOX
NTS

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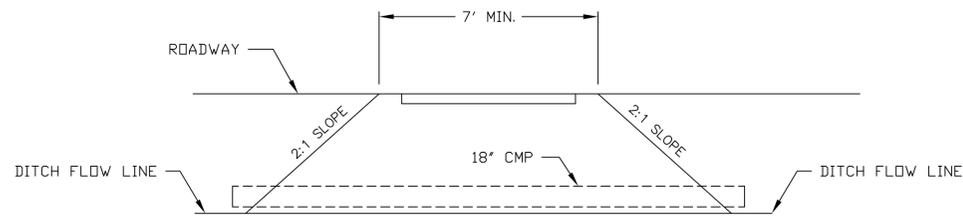
DESIGNED: P. O'NEILL/JLS
DRAWN: GDS/JLS
CHECKED: PKO

MISCELLANEOUS DETAILS

PROJECT: *STANDARD DETAILS*
HILL TOP SUBDIVISION

HIGHLAND ESTATES INC., HC60 BOX 4800, HAINES, ALASKA 99827

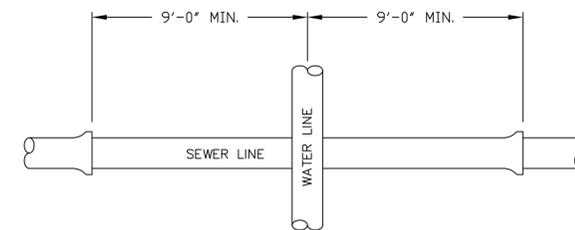
SHEET 11 OF 12



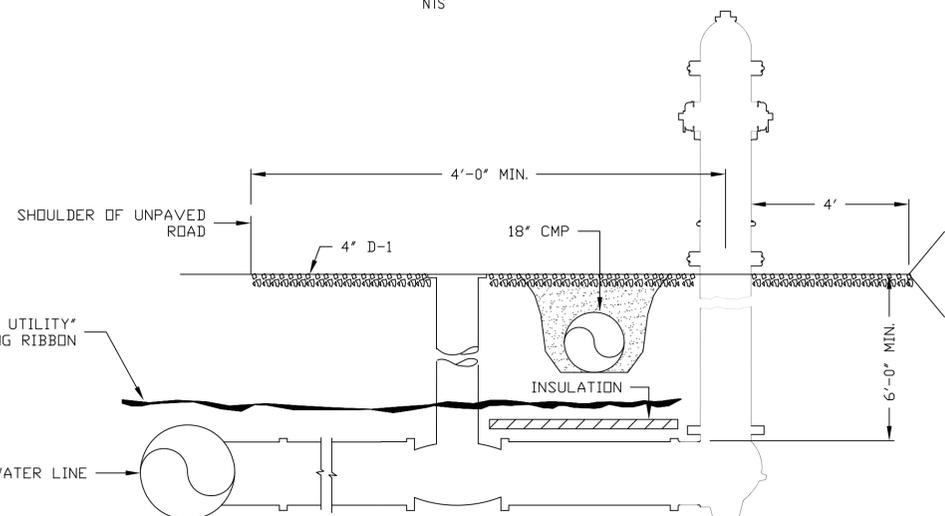
ACCESS PAD SECTION
NTS

GENERAL NOTES:

- EXISTING UTILITY LOCATIONS ARE BASED ON LARGE SCALE LINE DRAWINGS WITHOUT SPECIFIC AS-BUILT INFORMATION. ACTUAL HORIZONTAL AND VERTICAL POSITIONS MAY VARY SUBSTANTIALLY, AND THE CONTRACTOR SHOULD FIELD VERIFY EXISTING CRITICAL ELEMENTS SHOWN ON THESE DRAWINGS.
- PVC WATER PIPE:**
USE AWWA C-900 CLASS 150 PVC PIPE (DR-25) THAT IS NSF 61 AND NSF 372 LISTED. PIPE JOINTS TO BE PUSH-ON RUBBER GASKET TYPE AND FITTINGS TO HAVE MECHANICAL JOINT RUBBER GASKET CONNECTIONS. FITTINGS AND JOINTS TO BE DESIGNED FOR A WATER WORKING PRESSURE OF 250 PSI. CONFORM TO THE REQUIREMENTS OF AWWA C104, C110, C111, AND C151. WATER MAINS TO BE HYDROSTATICALLY TESTED PER A.W.W.A. C600. DISINFECTION BY CHLORINATION OF ALL NEW WATER PIPE SHALL BE COMPLETED AND A SATISFACTORY BACTERIOLOGICAL REPORT OBTAINED PRIOR TO PLACING THE PIPE IN SERVICE.
- PVC GRAVITY SEWER PIPE:**
PVC PIPE AND FITTINGS ARE TO CONFORM TO ASTM D3034 WITH INTEGRAL BELL GASKET JOINTS. THE PIPE SHALL HAVE AN SDR VALUE OF 35 AND BE INSTALLED IN COMPLIANCE WITH ASTM D2321. TESTING SHALL BE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- GATE VALVES:**
ALL GATE VALVES TO BE DOUBLE DISK, PARALLEL SEAT VALVES CONFORMING TO A.W.W.A. C500 AND RATED AT 200 PSI W.W.P.

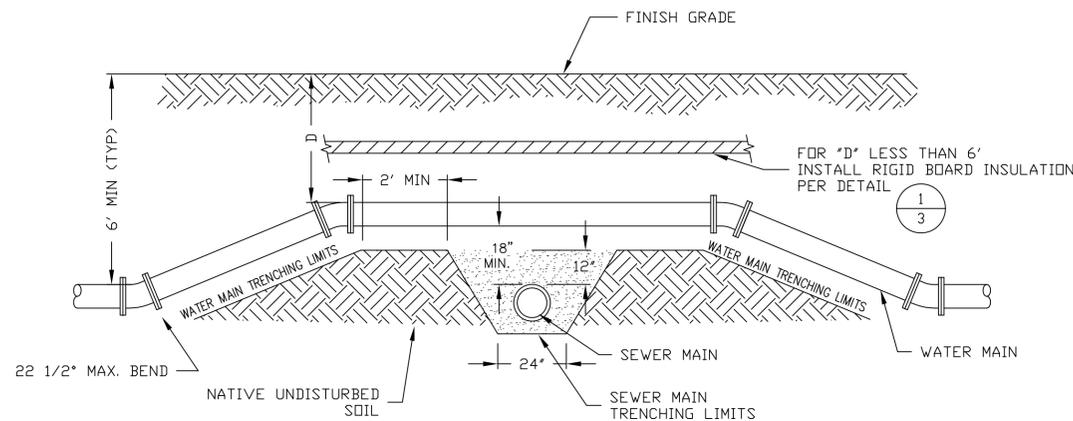


PLAN VIEW
NTS

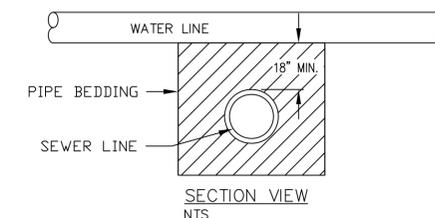


- FURNISH AND INSTALL CMP (MIN. THICKNESS = 0.064") AT LOCATIONS WHERE ACCESS PAD BLOCKS ROADSIDE DITCH.
- BACK FILL ACCESS PAD WITH BASE COURSE MATERIAL GRADING D-1 AND COMPACT TO 95% MAXIMUM DENSITY.
- FURNISH AND INSTALL RIGID BOARD INSULATION (6" THICK x 4' WIDE) CENTERED OVER THE HYDRANT LEG WHERE THE LEG PASSES BELOW THE DITCH SECTION WITH LESS THAN 6'-0" COVER.

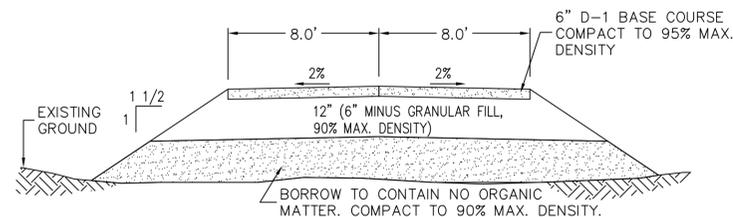
FIRE HYDRANT ACCESS PAD
NTS



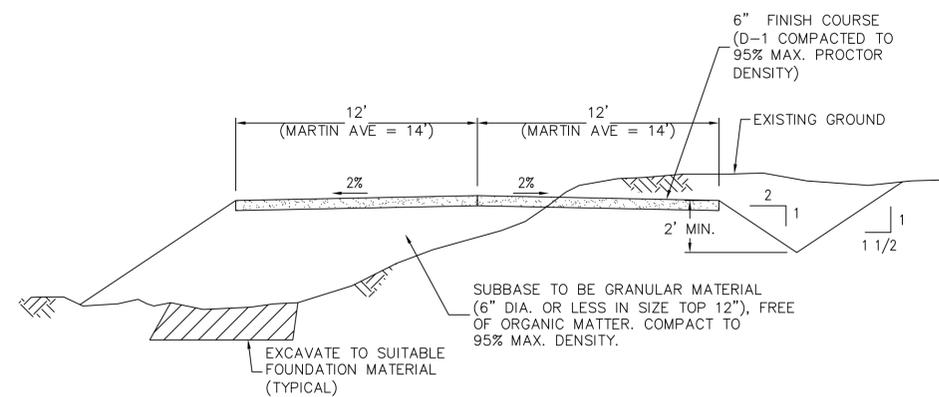
SAN SEWER/ WATER MAIN CROSSING
FOR PIPES AT SIMILAR DEPTHS
NTS



TYPICAL WATER AND SEWER CROSSING
NTS



PRIVATE ROAD SECTION
NTS



TYPICAL ROAD SECTION
NTS

BY	DATE	REV	DESCRIPTION OF CHANGE
RECORD OF REVISIONS			





HAINES BOROUGH, ALASKA
P.O. BOX 1209
HAINES, AK 99827
(907) 766-2231 FAX (907) 766-2716

October 5, 2015

«PRIMARYOWNER»
«ADDRESS»
«CITY», «STATE», «COUNTRY» «ZIPCODE»

Re: Hill Top Subdivision Preliminary Plat Public Hearing
Portion of USS 2716; C-USS-A2-2716
Multiple Residential Zone

Dear Land Owner,

Haines Borough records show that you own property within 200 feet of the above-listed property. Highland Estates, Inc. submitted an updated preliminary long plat subdivision through its agent Dave Smith. The commission will process the preliminary plat pursuant to the standards set forth for special conditions permits and the standards set forth in HBC 18.100.

The Haines Borough Planning Commission will hold a public hearing on the matter at the next regular Planning Commission meeting. The meeting will be held at 6:30 p.m. at the Haines Borough Assembly Chambers on Thursday October 15, 2015. As an owner of property within 200 feet of the above-listed property you are being notified that you are invited to attend and comment at the meeting. If you have any questions on the matter please contact the Borough.

Sincerely,

Tracy Cui
Planning and Zoning Technician III
Phone: (907)766-2231 Ext 23
Fax: (907) 766-2716
xcui@haines.ak.us

PRIMARYOWNER	ADDRESS	CITY	STATE	COUNTRY	ZIPCODE
HAYNES L. TORMEY II	3718 EL CAMINO	JUNEAU	AK	US	99801
FRANK BROWN	8217 CEDAR DRIVE	JUNEAU	AK	US	99801
CONNIE WARD	BOX 1075	HAINES	AK	US	99827
ADAM C. MCMAHAN	BOX 1335	HAINES	AK	US	99827
FREDRICK D. FOLLETTI	BOX 145	HAINES	AK	US	99827
MARNIE HARTMAN	BOX 1567	HAINES	AK	US	99827
CHURCH OF THE NAZARENE	BOX 190485	ANCHORAGE	AK	US	99519
SHANE HORTON	BOX 250	HAINES	AK	US	99827
C/O LEE HEINMILLER	BOX 271	HAINES	AK	US	99827
&REW A. DEGEN	BOX 950	HAINES	AK	US	99827
C/O ROGER SCHNABEL	HC 60, BOX 4800	HAINES	AK	US	99827
OMAR CORDES	HERENGRACHT 105-107	AMSTERDAM 1015 BE	N. HOLLAND	THE NETHERLANDS	

HBC 18.100.050 Long plat procedures – Preliminary plat.

A. Planning Commission Review. Before submitting a final plat for approval for recording under AS [40.15](#), as amended from time to time, and HBC [18.100.112](#), and unless following the procedures of HBC [18.100.030](#) and [18.100.035](#), the subdivider shall submit a preliminary plat prepared by a registered land surveyor to the commission at 20 percent to 35 percent completion in order that general agreement may be reached on layout and arrangement of streets and lots and other public utilities before a final plat is prepared. A 100 percent complete preliminary plat must be submitted to the planning commission for review and approval before any construction begins. Any subsequent changes to the approved preliminary plat must be preapproved in writing by the borough manager. Substantial changes, such as changes to the alignment and grade of roads, changes to water and sewer lines, changes to lot size, or any changes that will cause future expense to the borough, must be approved by the planning commission.

B. Planning Commission Action. The commission shall process preliminary plats pursuant to the standards set forth for special conditions permits and the standards set forth in this chapter.

C. Engineering Standards. The preliminary plat shall be drawn with waterproof nonfading black ink or legibly drawn with pencil on tracing cloth, or tracing paper of good quality, measuring 24 inches by 36 inches, at a scale of either 40, 50, 60 or 100 feet to an inch, scaled appropriately for the size of the property being platted, and shall show accurately on its face:

1. The date, scale and north point.
2. The proposed subdivision name, which shall not be so similar to the name of any plat previously recorded in the area as to cause confusion.
3. The name and address of the owner, the subdivider, and the surveyor preparing the plat.
4. The exact length and bearing of the exterior boundaries of the subdivision.
5. Location and names of adjacent subdivisions and the owners of adjoining parcels of unsplit land.
6. Zoning on and adjacent to the subdivision.
7. Location, widths and names of all existing and platted streets, alleys, or other public ways and easements, driveways, and utility rights-of-way, tideland leases, parks, cemeteries, watercourses, drainage ditches, permanent buildings, bridges, and other pertinent data.
8. The water elevations of adjoining lakes or streams at the date of the survey and the approximate high and low water elevations of adjoining lakes, streams and tidal areas.
9. If the subdivision borders a lake or stream, the distances and bearing on a meander line established not less than 20 feet back from the mean high water mark of the lake or stream.
10. The location of significant natural features such as, but not limited to anadromous fish streams, existing material sites, wetlands, and U.S. Fish and Wildlife cataloged eagle nesting trees.
11. Layout, width and grades of all new streets, driveways, and rights-of-way, such as alleys, highways, easements for sewers, water mains and other public utilities.
12. Dimensions and areas of lots.
13. Proposed building lines.
14. Radii of all curves and length of tangents.
15. Contours at two-foot vertical intervals or at more frequent intervals if required by the commission for land of unusual terrain characteristics. All pertinent elevations should be shown.
16. The location of any hazard areas set forth in HBC [18.60.010](#).
17. Plan sheets of the same scale showing engineering design, both plan and profile, and stamped by a registered professional engineer, of any water, sewer, streets, drainage systems, snow storage sites or other public utility to be considered as part of the development.
18. The area for which such data is to be shown shall extend beyond the boundaries of the actual property being platted a distance sufficient to adequately relate the plat to its surroundings.
19. A minimum of six sets of all plan sheets shall be provided to the commission.

D. Approval of Preliminary Plat. The completed application for approval of the preliminary plat shall be submitted to the manager and placed on the agenda for the next planning commission meeting. Approval of properly prepared preliminary plats shall occur no later than 30 days after submission to the commission. If the commission does not approve of the plat within 30 days of filing, they shall return the plat to the applicant for modification or correction. Once properly resubmitted with all required information, the commission shall again have 30 days for review and decision. An applicant for plat approval may consent to an extension of the period for action by the commission. Any reason for disapproval shall be so stated upon the records of the commission and provided to the applicant.

E. Forwarding of Approved Preliminary Plat. Upon commission approval of a properly submitted preliminary plat, the applicant shall follow the final plat procedures below.

F. Action Following Approval of Preliminary Plat. Upon approval of the preliminary plat, the applicant may undertake certain activities prior to approval of the final plat. These activities are:

1. Completing surveying and monumentation;
2. Complying with plat conditions required by the commission as conditions of approval, including but not limited to physical improvements to the property such as land clearing, installation of drainage and identification of rights-of-way and easements.
3. Preparing a reproducible mylar plat as approved by the commission.

G. Nullification of Preliminary Plat Approval. Preliminary plat approval shall become nullified if the applicant has not begun surveying and monumenting the lot lines for subdividing the parcel within 24 months of the approval of the preliminary plat. (Ord. 12-04-284 § 4; Ord. 08-06-184)

HBC 18.100.070 General requirements and design standards.

The proposed subdivision shall conform to:

- A. The provisions of AS [40.15](#), and AS [29.40](#), as amended from time to time and all other relevant laws and regulations.
- B. All applicable ordinances of the borough.
- C. The comprehensive plan and the coastal management plan of the borough.
- D. The regulations of the State Department of Transportation and Public Facilities relating to safety of access and the preservation of the public interest and investment in streets and highways if the subdivision of any lot contained therein abuts on a state highway.
- E. The requirement that approvable building sites exist on each proposed lot, as defined within this title, except for lots specifically set aside and dedicated (1) as hazardous slope setbacks, (2) as special drainage easements, and/or (3) as open space and greenbelts. Where regulated, proposed new land development activities in new subdivisions which lie within the borough must conform to special hazardous area management requirements (See HBC [18.60.010\(T\)](#)), and must ensure that the water quality of streams and major drainages is maintained and that they are not obstructed without adequate mitigation.
- F. Block and Lot Designation. Within any new multi-phased subdivision, block designations shall not be repeated from phase to phase, but shall continue sequentially from one phase to the next (i.e., if Block C is the last block in Phase I, the first block in Phase II would be Block D). Preferably, blocks shall be designated by a letter of the alphabet beginning with A and lots by numbers, beginning with one.
- G. Subdivision Name. A new subdivision name shall not be so similar to the name of any existing subdivision so as to cause confusion.
- H. Access and Buffers. All lots must be guaranteed a public access easement of at least but not limited to five feet in width. It is recommended that subdividers establish public access easements along property lines that follow natural corridors. All streams and watercourses used to provide DEC-approved domestic water shall be protected by a 25-foot buffer on each side, measured from the stream bank.

HBC 18.100.075 Streets.

The design and construction of streets, roads, and sidewalks in subdivisions shall be governed by the provisions of HBC [12.08.030](#) through [12.08.190](#). (Ord. 08-03-180)

HBC 18.100.080 Intersections.

- A. Right Angle. Streets shall intersect as nearly as possible at right angles and not more than two streets shall intersect at one point unless approval is granted by the commission.
- B. Rounded. Property lines at street intersections shall be rounded with a radius of at least 15 feet.
- C. Jogs. Street jogs with center line offsets of less than 125 feet shall be avoided. Where streets intersect major streets, their alignment shall be continuous.

HBC 18.100.085 Lots.

- A. In General. The size, shape and orientation of lots shall be appropriate for the location and physical attributes of the subdivision and for the type of development contemplated.
- B. Lot Dimensions/Size.
 1. Lots should be designed with a suitable proportion between width and depth. Normal lot width should not be less than 65 feet. Normal lot depth should not exceed two and one-half times the width, nor be less than 100 feet. Unless otherwise provided, lots shall in no instance be less than 10,000 square feet in total area.

2. Depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.

3. Residential lots abutting on major streets and highways shall be platted with sufficient depth to permit adequate separation between the buildings and such traffic ways.

C. Corner Lots. Corner lots should be designed to permit a setback on all lot lines abutting streets as required by the zoning ordinance.

D. Access to Public Streets. Every lot shall front or abut on a dedicated public right-of-way with the exception of subdivisions or lots that are in roadless areas of the borough and accessed solely from a navigable water body, in which case all lots shall be accessible from the navigable water body or via a dedicated access easement from the water body. Lots with an access only to private drives shall not be permitted unless a permanent easement has been granted and properly recorded. No lots shall access an alley as the means of access to public streets.

E. Lots at Right Angles. Lots at right angles to each other should be avoided wherever possible, especially in residential areas.

F. Lot Lines. Side lot lines shall be substantially at right angles or radial to street lines.

G. Large Lots. Where lots are created of a size larger than normal for the area, the commission shall require that the plat be so designated as to allow for the possible future re-subdivision of such lots into sizes normal for the area.

H. Small Lots. Where lots are created that are less than 20,000 square feet in area, the commission shall require that the plat be so designated as to not allow for re-subdivision of such lots.

I. Municipal Boundaries. Lots shall follow municipal boundary lines wherever practicable, rather than cross them.

J. Multiple Frontages. Lots abutting a street on more than one side shall be avoided except where necessary to provide separation of residential development from traffic or to overcome specific disadvantages of topography and orientation. (Ord. 10-11-247 § 4)

HBC 18.100.092 Requirements prior to final plat approval.

A. Utilities.

1. Water and Sewer. The subdivider, at the subdivider's own expense and prior to final plat approval, in accordance with the approved preliminary plat, shall construct, per borough specifications, all water and sewer utilities to service each lot individually within the subdivision to be created. The subdivider may elect to provide performance and payment bonding as allowed in HBC [18.100.125](#) in order to have authorization to proceed to a final plat procedure.

2. When, in the opinion of borough staff, no public sanitary sewer and/or water service is available within 200 feet of any exterior property line of a new subdivision in which all lots are one acre or larger in area, the developer may request an exemption from the requirements to connect to public utilities. All regulations of the State Department of Environmental Conservation pertaining to water extraction and wastewater disposal, as well as the requirements of HBC [13.04.080](#)(G) pertaining to on-site wastewater disposal, shall apply. If exempted from the requirement to connect to public utilities, a plat note must be placed on the plat stating that public water and/or sewer are not available to the subdivision and that all future property owners in the subdivision must provide written Department of Environmental Conservation (DEC) approval of their on-site wastewater system design prior to a land use permit being issued. Upon installation and before closure, the wastewater disposal system must be inspected and approved by a DEC-approved inspector.

When public sanitary sewer and/or water service becomes available, property owners will be required to connect to the public utility within six months.

B. Streets. The subdivider shall, prior to final plat approval, at the subdivider's own expense and in accordance with the approved preliminary plat and borough specifications, along all dedicated streets, including existing half-streets, construct all required roads to meet or exceed the road standards in HBC [12.08.030](#) through [12.08.190](#).

C. Monuments. All exterior corners and street intersections of the subdivision shall be marked by permanent monuments set in the ground. All individual lots shall have their perimeter corners staked. If the plat corner or a lot corner is identical with a plat corner or lot corner of a U.S. Survey, a U.S. Mineral Survey, or an Alaska Tidelands Survey, the primary monument of such survey shall be shown on the plat, or reestablished and shown if not found. (Ord. 13-12-359 § 4; Ord. 09-01-197)

HBC 18.100.095 Reservation of public sites and open spaces.

In order that adequate open spaces and sites for public uses may be properly located and preserved as the community develops, and in order that the cost of providing the public facilities necessary to serve the additional families brought into the community by subdivision development may be most equitably apportioned, the following provisions are established:

A. Design Consideration. In the design of the plat, consideration shall be given to the adequate provision of and correlation with such public sites or open spaces.

B. Reservation May Be Required. Where it is determined by the commission that a portion of the plat is required for such public sites or open spaces, the subdivider shall be required to reserve such area for a period not to exceed five years, after which the borough shall either acquire the property or release the reservation.

HBC 12.08.030 Plan of road construction and development.

The streets and alleys of the borough shall be constructed, graded and improved when existing rights-of-way permit it and in accordance with the provisions of this chapter as administered by the manager. It shall be unlawful to destroy, construct, or repair any street, alley, culvert, bridge, sidewalk, ditch, sewer, or drain within the corporate limits of the borough on property within its jurisdiction without first obtaining permission from the manager. (Ord. 08-03-180)

HBC 12.08.040 Standards applicable.

All public access roads in the Haines Borough must be constructed in accordance with an approved plat and meet or exceed the requirements set forth in this section or in accordance with a variance granted by the planning commission due to extenuating circumstances. (Ord. 08-03-180)

HBC 12.08.050 Local road construction standards.

The borough adopts the standards for construction of roads contained in this chapter. Should there be a conflict between the road construction standards contained herein and those contained in the subdivision ordinance (Chapter [18.100](#) HBC) or other chapters of the borough code, these standards shall control. (Ord. 08-03-180)

HBC 12.08.060 Other requirements not eliminated.

This chapter only establishes design and construction standards and does not eliminate any other requirements that may be established by federal or state statutes, borough ordinances or other regulations adopted pursuant to these laws. Permits may be required in instances involving construction in flood hazard zones, wetlands and fish habitat. Grading, excavation and fill permits, storm water/water separation waivers and coastal management consistency reviews may be required. The land owner is responsible for knowing the necessity of a permit and acquiring it. (Ord. 08-03-180; Ord. 04-06-064)

HBC 12.08.070 Road construction standards – Introduction.

A. Enforcement. The borough shall inspect road construction to ensure adherence to an approved plat and borough standards. Inspection may include test holes; engineering analysis of road geometry, drainage, and general adequacy for anticipated traffic. Construction not adhering to an approved design or construction standards shall be brought into compliance by the developer.

B. Design Speeds. All categories of roads named in this chapter have a statutory speed designation of 25 miles per hour for residential areas, except that collector roads may enjoy 35 miles per hour. Actual speed design will be determined by factors of terrain and construction costs. The posted speed may be lower than the design speed, and shall be set by the municipality with due consideration to neighborhood safety; presence of schools, houses, parks and crosswalks; the presence of driveways, parked vehicles and multiple turn locations and the effectiveness of enforcement. (Ord. 08-03-180)

HBC 12.08.080 Road construction standards – Construction categories.

A. Internal Subdivision Roads. The standard to which a road is constructed shall be based on the categories set forth below. The category shall also be determined by lots indirectly served where the road is a collector or subcollector and provides necessary access to lots not otherwise served by a collector or sub-collector.

Category I: A cul-de-sac road or other minor road that serves less than 20 lots.

Category II: A road that serves between 20 and 39 lots.

Category III: A road that serves 40 or more lots.

B. Category Determination. The borough will determine the category of road based on the standards set forth in this chapter. If the developer disagrees with the category the applicant may request a review by the manager.

C. Existing Collector Roads. Existing collector roads shall be reconstructed to a Category III in a new subdivision, where the average daily traffic (ADT) on the existing collector road can be projected to exceed 300 after subdivision. Alaska Department of Transportation and Public Facilities Division of Planning, Mapping Section current ADT readings shall be referenced.

D. Half-Streets. Where a previous dedicated half-street exists in a subdivision adjacent to a new subdivision, the second half of the street within the proposed subdivision shall be dedicated to the borough for public use by the subdivider. (Ord. 08-03-180)

HBC 12.08.090 Road construction standards – Widths and topping.

Category	Road Width	D1 or Grading-C Topping	Right-of-Way Width	Total Width
I	24 ft.	4 in.	60 ft.	24 ft.
II	28 ft.	4 in.	60 ft.	28 ft.
III	30 ft.	6 in.	60 ft.	30 ft.

These widths are the minimum. The developer may build wider roads to standards. Additional width may be required for utility easements and drainage. Three-foot-wide bicycle paths are included in Category II and III road widths. (Ord. 08-03-180)

HBC 12.08.100 Road construction standards – Structures and bridges.

Bridges, bottomless culverts, walls and other structures on roads certified for borough maintenance shall be prepared and stamped by a licensed professional civil engineer, and shall be submitted to the borough prior to acceptance of the road for maintenance. (Ord. 08-03-180)

HBC 12.08.110 Road construction standards – Vertical and horizontal alignment.

A. Vertical Alignment. Unless granted a variance by the planning commission, roads shall be constructed in a manner such that grades shall not exceed 10 percent and crossroads within 20 feet of a through-road intersection shall not exceed four percent grade.

B. Horizontal Alignment. Roads shall be constructed along the centerline of the right-of-way and shall have curves meeting the minimum radius requirements of not less than 300 feet for rights-of-way, 100 feet in width or more, and not less than 200 feet on all other roads.

C. Clear Zone. The roadside shall be clear of hazardous objects or conditions for a distance consistent with speed, traffic volume, and geometric conditions of the site. Roads shall be constructed with a minimum clear zone of six and one-half feet. Where hazardous physical features exist which cannot be located outside of the clear zone, alternative treatments such as guardrails may be required.

D. Culs-de-Sac (Turnarounds).

1. Roads designed to have one end closed permanently shall be no longer than 500 feet from the center of the intersection to the radius point of the cul-de-sac, and shall terminate with a turnaround having at least a 100-foot-diameter right-of-way and a roadway at least 75 feet in diameter. The turnaround shall be constructed to a four percent grade or less.

2. Temporary roads longer than 500 feet may be constructed with one end closed with a conditional use permit approved by the planning commission. A conditional use permit may be granted with a minimum of the following criteria:

a. The road shall terminate with a turnaround having at least a 100-foot-diameter right-of-way and a roadway at least 75 feet in diameter. The turnaround shall be constructed to a four percent grade or less.

b. The developer shall post a performance bond.

c. The planning commission shall set an expiration date for the conditional use permit.

E. Intersections. A minimum unobstructed sight distance of 150 feet shall be provided unless a variance is granted due to topography, traffic flow or other physical characteristics. Appropriate warning signs may be required if an exception to the sight distance is granted. Road intersections shall be constructed with a minimum return radius of 20 feet. (Ord. 10-07-235 § 4; Ord. 08-03-180)

HBC 12.08.120 Road construction standards – Drainage and culvert material.

A. Roads shall be constructed to prevent ponding of runoff waters in roadside ditches. Drainage ditches shall be constructed such that runoff waters will be conveyed to natural drainage courses, ditches or waterways, or other manmade drainage courses. Minimum depth of ditches shall be two feet unless special circumstances are approved by the borough. There shall be a maximum of one and one-half to one slope from the shoulder to the bottom of the ditch. There shall be a maximum of one to one back slope except in cases where bedrock is present.

B. Culvert outlets shall be constructed to prevent excessive siltation of riparian habitats, channel erosion or drainage to public or private property. The borough may require engineering analysis and design for locations susceptible to flooding, excessive siltation, or other natural conditions potentially damaging to the right-of-way, adjacent property, or water courses and water bodies. Roadway cross-culverts and driveway culverts shall be a minimum diameter of 18 inches, unless special circumstances are approved by the borough. The length of the culvert shall be four feet longer than the road width when placed perpendicular to the roadway, and in any case, shall protrude a minimum of two feet beyond outer total road edge. Culverts, coupling bands and special sections shall be corrugated steel pipe, at a minimum of 16 gauge. Plastic culverts shall meet AASHTO Standard Section 706-2.07, corrugated polyethylene pipe, AASHTO M 294, Type S. (Ord. 08-03-180)

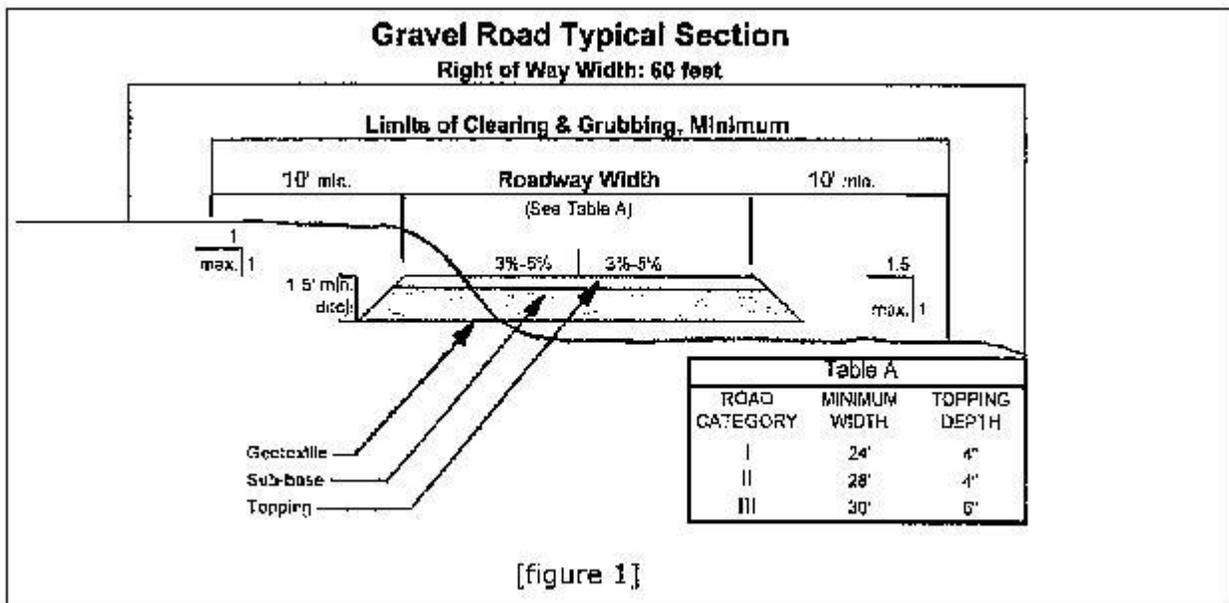
HBC 12.08.130 Road construction standards – Typical section materials.

Sub-base shall contain no muck, frozen materials, roots, sod or other deleterious matter. The Haines Borough will conduct an inspection prior to grading-C or D1 application of the sub-base on Category I and II roads. The Category III road’s sub-base will adhere to specifications called out in the project specific design described in HMC 12.08.140(B). (Ord. 08-03-180)

HBC 12.08.140 Road construction standards – General.

A. Typical Section. Gravel roads shall be constructed in accordance with the gravel road typical section drawing and associated Table A [see figure 1]. Additional requirements are:

1. Roads must be contiguous with the existing road system maintained by the borough and the state. All roads must be on a dedicated right-of-way and must be built along the right-of-way centerline. A minimum right-of-way width shall be 60 feet, enabling utilities to be installed outside the edge of roadside ditches.
2. All organic material shall be stripped and removed to a minimum depth of four feet below the finished grade. If geotextile is used over organics, then the depth of sub-base must be three feet minimum or greater as required for stable embankment.
3. The roadway embankment shall be placed in maximum one-foot lifts and compacted to not less than 90 percent of maximum density, as specified by AASHTO for material application. Density shall be determined by AASHTO T 180, method D.
4. Onsite usable excavation material may be used as sub-base with approval from the public works superintendent.



B. Project-Specific Design. Category III roads require a project-specific design prepared and sealed by a licensed professional civil engineer in accordance with the Category III gravel road typical section drawing and associated Table A. The design shall be approved by the borough as provided for in HMC Title 18. Once the project is complete, as-built plans, prepared and sealed by a licensed professional civil engineer, shall be submitted to the borough. The as-built shall illustrate horizontal alignment, finish grade profile, typical section of the roadbed, and material specifications. The as-built plans are required prior to municipal road maintenance. (Ord. 08-03-180)

HBC 12.08.150 Sidewalks, curbs, gutters, and accessibility.

A. The manager shall require that an area 10 feet wide adjoining the street boundary be reserved on each side of the street, with the curb line being on the opposite side of such 10-foot reserved area. All proposed sidewalks in the business area must receive written approval from the manager. All curb lines will be rounded at the corners on a radius of 10 feet at entrances to alleys and on a radius of 17.5 feet on cross streets. Sidewalk widths may be appealed to the manager.

B. It shall be unlawful to construct any sidewalk less than six feet in width on Main Street, Front Street, Second Avenue, Third Avenue, Fourth Avenue, Fifth Avenue, Sixth Avenue, Dalton Street, Union Street, or View Street within the corporate limits of the borough, except at the direction of the manager.

C. The outside boundary of a sidewalk will be established by the manager to prevent irregularities in alignment with existing or proposed sidewalks.

D. Property lines shall be determined at the expense of the owner of the property by a registered land surveyor.

E. Curbs and gutters shall be constructed adjacent to sidewalks at the direction of the manager.

F. Ramps and access shall be provided as directed by the manager. (Ord. 08-03-180)

HBC 12.08.160 Utility installation.

A. Aboveground Utilities. All poles or structures for utility lines, hydrants, and other public service facilities to be constructed above the level of the ground shall be placed between the sidewalk and the curb line if built on a street and within one foot of the boundary of any alley if built in an alley, unless specific authority is obtained from the assembly to do otherwise.

B. Underground Utilities. A utility facility may be constructed, placed, or maintained along, under, or within a borough right-of-way only in accordance with regulations adopted by the borough and if authorized by a utility permit issued by the borough. Utility permits are valid for two years from the date of issuance.

C. Access Easement. The borough retains a 10-foot easement on each side of, and perpendicular to, all borough-owned sewer and water lines and associated appurtenances. (Ord. 08-03-180)

HBC 12.08.170 Construction by parties other than the borough.

Construction of streets, alleys, sidewalks, curbs, and other parts of such streets and alleys, exclusive of any utility lines, may be constructed by persons or corporations other than the borough at the owner's expense or with borough contribution to the cost thereof as agreed by the assembly. All such construction must be in accordance with the requirements and specifications established by the manager, who shall put the same in writing at the request of any such builder. (Ord. 08-03-180)

HBC 12.08.180 Fee schedule.

The assembly may establish a fee schedule to cover costs related to road and sidewalk standard construction inspection. (Ord. 08-03-180)

OWNERSHIP CERTIFICATE

WE HEREBY CERTIFY THAT HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HAVE THE NECESSARY AUTHORITY TO CONVEY THE SAME BY CONSENT, DEDICATE, ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

JAN HILL HAINES BOROUGH MAYOR DAVID SOSA HAINES BOROUGH MANAGER P.O. BOX 1209 HAINES, AK 99827

NOTARY ACKNOWLEDGEMENT

STATE OF ALASKA) S.S.) 2015 BEFORE ME, THE UNDERSIGNED PUBLIC NOTARY, THE STATE OF ALASKA, DO ITY COMMISSIONER AND SIGNON, PERSONALLY APPEARED:

JAN HILL AND DAVID SOSA

KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR THE STATE OF ALASKA MY COMMISSION EXPIRES: _____

CERTIFICATE BY THE HAINES BOROUGH

I HEREBY CERTIFY THAT THIS RE-SUBDIVISION PLAT OF LOTS 1, 2, 3 & 4 PLAT NO. 2009-21; LOTS 12 THROUGH 16 AND TRACT A-2 OF PRESBYTERIAN MISSION PLAT US 735; AND ADDITION OF 20 UTILITY EASEMENT TO LOT 6A, PLAT NO. 2014-7, AND NOW DESCRIBED HEREON AS HAINES SCHOOL TRACT, ARE NOW DESCRIBED HEREON AS HAINES SCHOOL TRACT, AND THAT THE DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, ALL EASEMENTS AND RIGHTS OF WAY APPEARING HEREON HAVE BEEN REVIEWED AND APPROVED FOR RECORDING WITH THE HAINES RECORDING OFFICE.

ROB GOLDBERG HAINES BOROUGH PLANNING COMMISSION CHAIRMAN DATE

JAN HILL HAINES BOROUGH MAYOR DATE

CERTIFICATION OF BOROUGH ASSESSOR

I HEREBY CERTIFY THAT THE APPLICANTS ARE NOT DELINQUENT ON PROPERTY TAXES FOR THE PROPERTY SPECIFIED ON THIS SUBDIVISION PLAT AS SHOWN HEREON.

HAINES BOROUGH ASSESSOR DATE

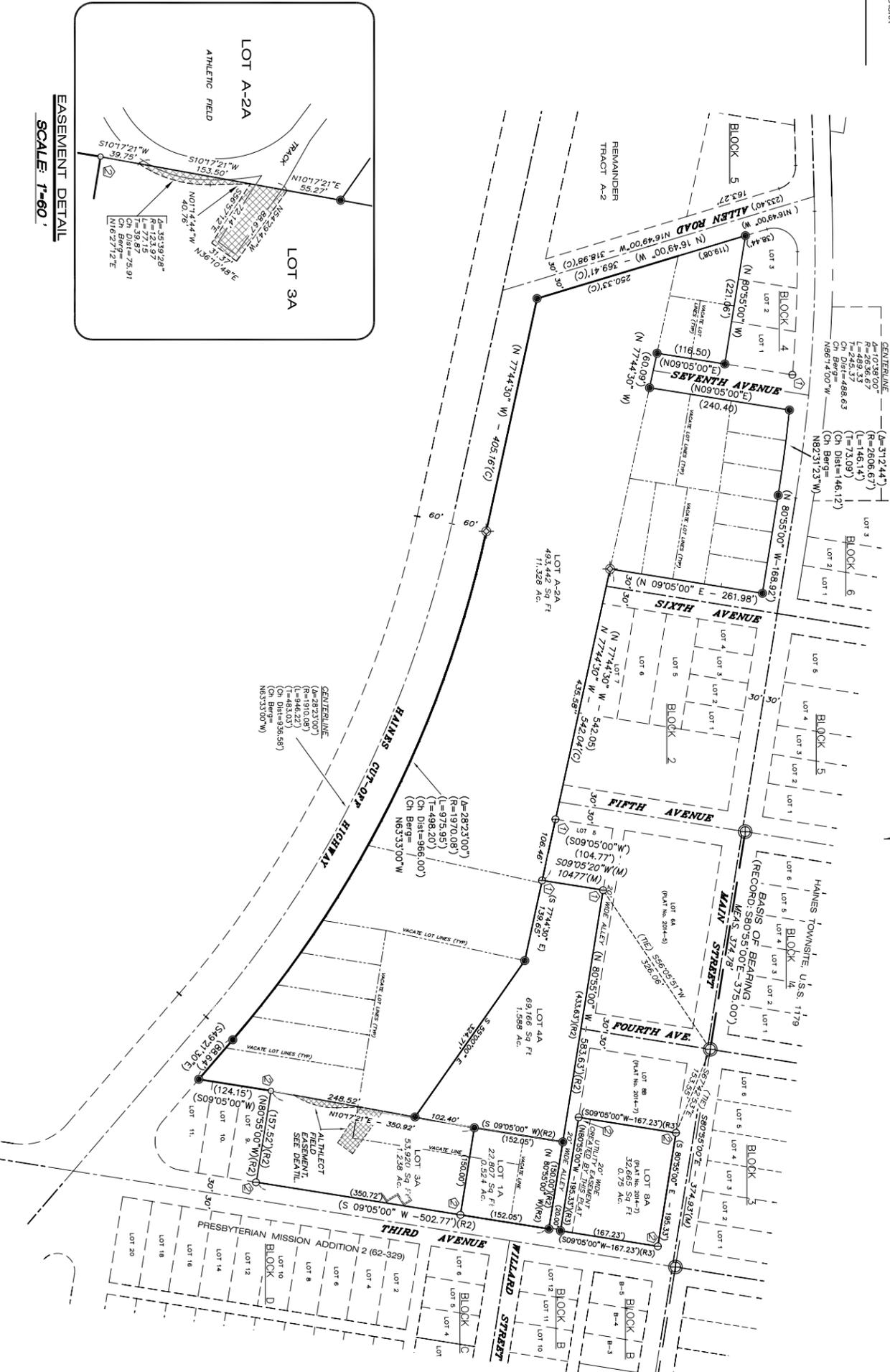
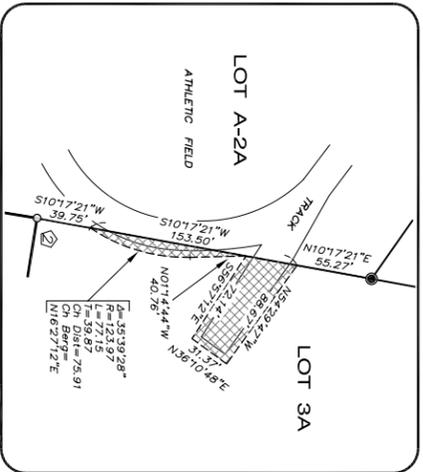
SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, ALL EASEMENTS AND RIGHTS OF WAY APPEARING HEREON HAVE BEEN REVIEWED AND APPROVED FOR RECORDING WITH THE HAINES RECORDING OFFICE.

DATE

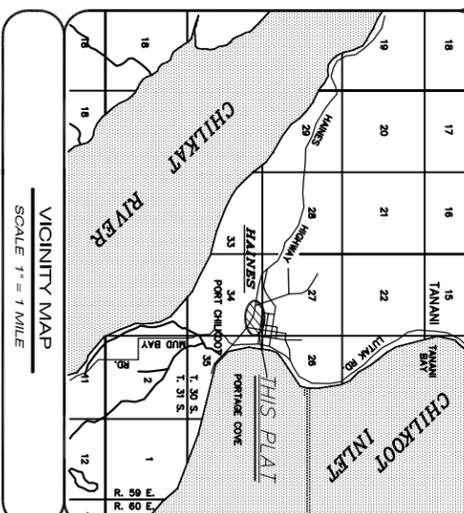


SCALE: 1"=100'



GENERAL NOTES:

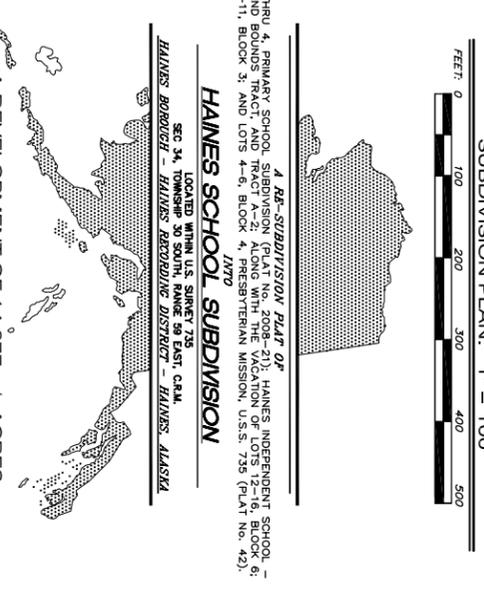
- 1. THE BASIS OF BEARINGS FOR THIS SURVEY ARE TWO CENTERLINE BRASS CAP MONUMENTS SET IN MONUMENT WELLS LOCATED AT THE INTERSECTION OF MAIN AND FOURTH, AND AT THE INTERSECTION OF MAIN AND FIFTH AS SHOWN ON HAINES TOWNSHIP PLAT NO. 2014-7, WITH A RECORDED BEARING OF N 89°55'00" W, A DISTANCE OF 375.00'. A MEASURED DISTANCE OF 374.85'.
2. WHERE RECORD COURSES (BEARINGS AND/OR DISTANCES) DIFFER FROM THAT OF ACTUAL MEASUREMENT OR COMPUTED COURSES, RECORD COURSE ARE SHOWN WITHIN PARENTHESES WHILE THE ACTUAL MEASUREMENT OR COMPUTED SURVEY COURSES ARE SHOWN WITHOUT PARENTHESES.
3. ALL BEARINGS SHOWN ARE TRUE BEARINGS, AS ORIENTED TO THE BASIS OF BEARINGS AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
4. THE ACCURACY OF THIS SURVEY IS GREATER THAN 15:000
5. RECORD BEARINGS AND DISTANCES ARE FROM PLAT NO. 2014-7, 2009-21, AND 42, UNLESS OTHERWISE NOTED.
6. SUBJECT OF EASEMENTS AND RESTRICTIONS OF RECORD. LOTS MAY BE AFFECTED BY ENCROACHMENTS NOT DETECTED.
7. THIS PLAT IS IN THE COMMERCIAL LAND USE ZONE.
8. LOT WITHIN THIS SUBDIVISION ARE SERVED BY THE HAINES BOROUGH MUNICIPAL WATER AND SEWER SYSTEMS.



LEGEND

- FOUND SURVEY MONUMENTS:
- FOUND PRIMARY DOT/PF CENTERLINE MONUMENT: 2" BRASS CAP ON PIPE AND SET IN MONUMENT WELL CASING.
- FOUND 2" TO 2.5" ALUMINUM CAP (AC) ON 5/8" DIA. REBAR.
- FOUND REBAR W/ YELLOW PLASTIC CAP (VPC) ON 5/8" DIA. REBAR.
- MONUMENT SET BY DOUGLAS FINLEY, LS-6277
- MONUMENT SET BY L.W. BEAM, LS-9580
SET SURVEY MONUMENTS:
- SET SECONDARY MONUMENT THIS SURVEY: 2x12" DIA. ALUMINUM CAP ON 5/8" DIA. REBAR 30" LONG.
SET 1" DIA. X 2" SURVEY MARK NAIL WITH STAINLESS STEEL WASHER.
PROPERTY LINE - SURVEYED BOUNDARY
PROPERTY LINE - PROPOSED LOTS
PROPERTY LINE - UNSURVEYED
PROPERTY LINE VACATED BY THIS PLAT
RECORDING OFFICE PLAT NUMBER, OR SERIAL AND/OR DISTANCE WAS TAKEN.
(BEARING AND/OR DIST) RECORD INFORMATION PER PRESBYTERIAN MISSION PLAT, No. 42
(R1) RECORD INFORMATION PER VACATION OF LOT LINES PLAT NO. 2001-10
(R2) RECORD INFORMATION PER PRIMARY SCHOOL SUBDIVISION PLAT NO. 2008-21
(R3) RECORD INFORMATION PER RE-SUBDIVISION LOT 8, PRIMARY SCHOOL SUBDIVISION CREATING LOTS 8A & 8B, PLAT NO. 2014-7.

OWNER: HAINES BOROUGH ALASKA LAND SURVEYING CO., L.L.C. P.O. BOX 1209 HAINES, AK 99827
SURVEYOR: HAINES BOROUGH ALASKA LAND SURVEYING CO., L.L.C. P.O. BOX 397 5481 N. MAVERICK DRIVE HAINES, AK 99827 907-745-1497
SUBDIVISION PLAN: 1" = 100'



ALASKA LAND SURVEYING CO., L.L.C.

DRAWN BY: T.M.K. SCALE: 1"=100' DATE: 8 OCTOBER 2015 PROJECT NO: 1454201A/4137



**Haines Borough
Planning Commission Meeting
September 11, 2014
EXCERPT OF APPROVED MINUTES**

Present: Chairman Rob **Goldberg**, Commissioners Lee **Heinmiller**, Heather **Lende**, Andy **Hedden**, Robert **Venables** (called in), Danny **Gonce**, and Don **Turner III**.

Staff Present: Stephanie **Scott**/Mayor, Tracy **Cui**/Planning & Zoning Technician III.

Visitors Present: Don **Hess**, Karen **Hess**, Sean **Gaffney**, Margaret **Friedenauer** (KHNS), Karen **Garcia** (CVN), Eric **Kocher**, Ron **Jackson**, Glenda **Gilbert**, John **Floreske**, Vincent **Simkin**, Scott **Sundberg**, and Debra **Schnabel** (liaison), etc.

9. Unfinished Business

A. Replat of Primary School Subdivision

After reviewing the memo provided by **Cui**, the commission made the following recommendations:

- 1) Keep the 5th Avenue Right-of-Way, but place a barrier so that cars cannot drive from Main Street into the school parking lot; and
- 2) Shift western property line of Lot 2 approximately 50 feet to the west and eliminate the lot line between Lots 1 and 2; and
- 3) Shift western property line of Lot 3 approximately 50 feet to the west and make Lot 3 rectangular. A Memorandum of Understanding should be written to allow a portion of the running track to remain on Lot 3; and
- 4) Connect Admin Building parking lot with the Library parking lot and make it one way; and
- 5) The commission supports the idea of a safe walking route through this property, but recommends that it be postponed until after the property is re-platted; and
- 6) Reserve a 20-foot wide easement for utilities along the southern boundary of Lot 8A; and
- 7) Plat a new line from the northeast corner of Tract A-2 paralleling the north side of the running track and ending at a point on the western boundary of Lot 3. This will create a new Lot 4. Eliminate all lines south and west of this new line such that the southwest portion of Lot 4 and Lots 12, 13, 14, 15 and 16 become part of Tract A-2. This would make the running track part of the school property.



**Haines Borough
Planning Commission Meeting
March 12, 2015
EXCERPT OF APPROVED MINUTES**

Present: Chairman Rob **Goldberg**, Commissioners Lee **Heinmiller**, Robert **Venables** (called in), Heather **Lende** (called in), Brenda **Josephson**, and Rob **Miller**.

Staff Present: David **Sosa**/Manager, Tracy **Cui**/Planning and Zoning Technician III, and Bill **Mandeville**/Community and Economic Development Director.

Visitors Present: Mike **Case** (Assembly liaison), Sierra **Jimenez**, Jolanta **Ryan**, Stephen **Henri**, Glenda **Gilbert**, Roger **Schnabel**, Dave **Smith**, and Jon **Hirsh**.

10D. Other New Business

1. Primary School Preliminary Plat Review

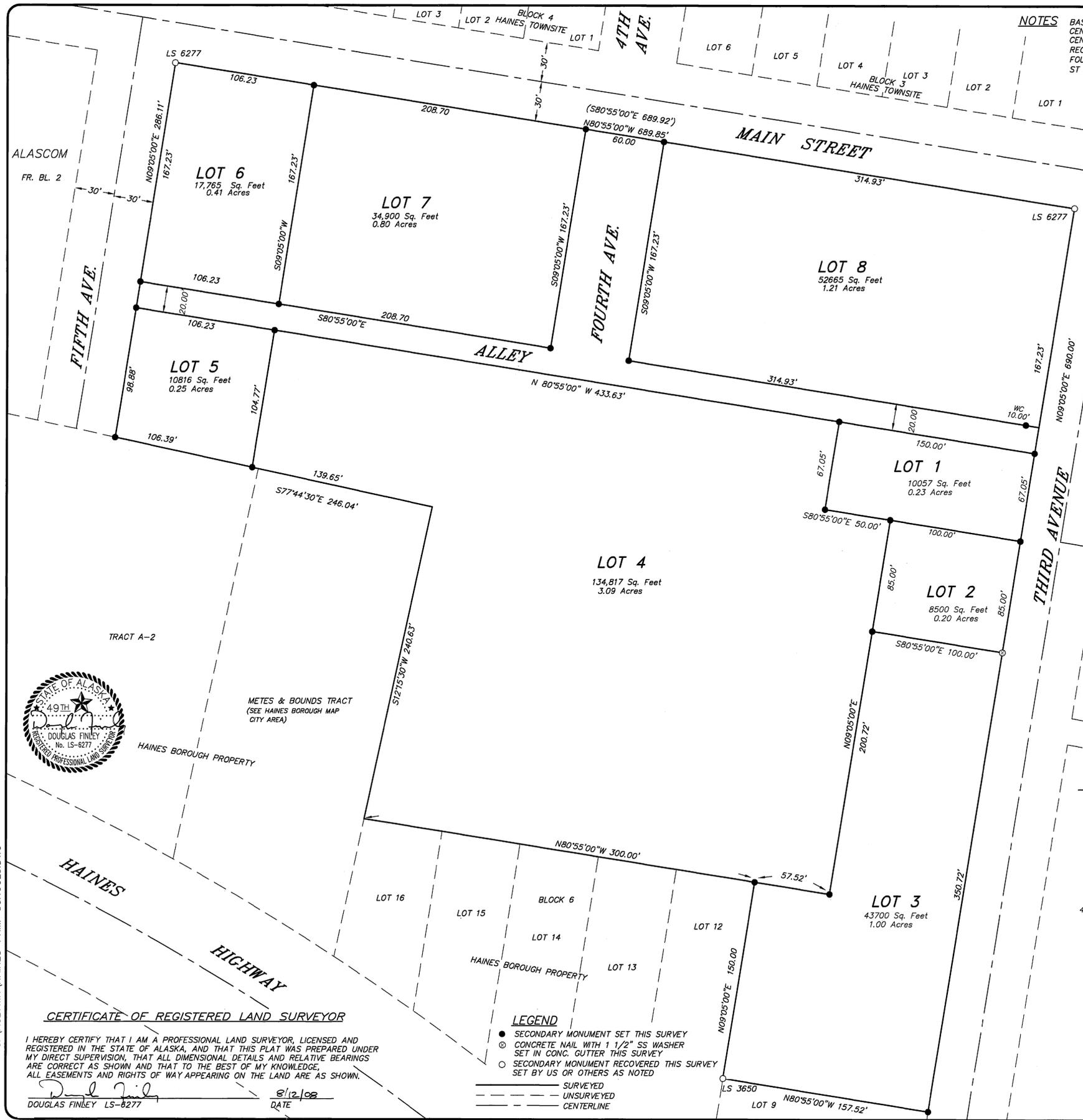
The commission reviewed the plat, and pointed out there was an error in the title block and the chairman's name was misspelled.

Cui said the surveyor re-surveyed the subdivision based on the recommendations from the commission. Additionally, lots within blocks 3 and 4 are owned by the Borough and the school buildings were built on these lots. It was recommended to vacate these lot lines to consolidate them into one single lot. The commissioners spoke in favor of this recommendation.

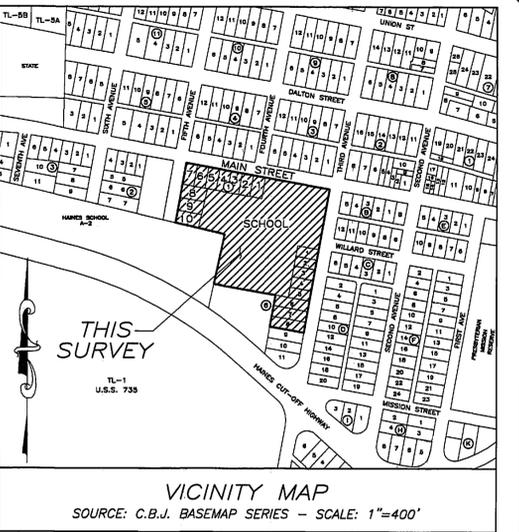
The commission also suggested keeping the library lot as rectangular. A Memorandum of Understanding (MOU)/easement can be written to allow one portion of the running track to remain on the library lot.

Smith said an additional cost will be needed to complete the project.

Cui said she will report these recommendations to the manager.



NOTES
 BASIS OF BEARINGS THIS SURVEY, HAINES BOROUGH MAP CENTERLINE MONUMENT AT 2ND STREET & MAIN STREET TO CENTERLINE MONUMENT AT 6TH STREET & MAIN STREET RECORD BEARING S80°55'00"E, RECORD DISTANCE 1,500' FOUND DISTANCE 1,499.97' NOTE CENTERLINE MONUMENTS IN MAIN ST ARE OFFSET 5.00' N9°05'E FROM ACTUAL CENTERLINE.
 TIE TO NE COR LOT 8 FROM CL MONUMENT @ 2ND & MAIN: N85°51'18"W, 406.59'
 LOT 2 OF THIS PLAT COMPRISES PROPERTY DESCRIBED IN HAINES BOOK 15 P.383
 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD. LOTS MAY BE AFFECTED BY ENCUMBRANCES NOT DEPICTED HEREON.

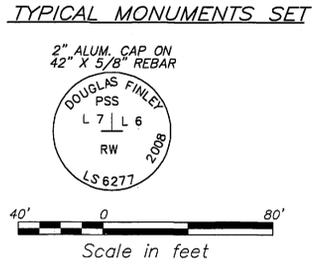


STATEMENT OF OWNERSHIP:
 WE HEREBY CERTIFY THAT THE HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND THAT WE DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
 DATE: SEP. 26, 2008
 FRED SHIELDS, MAYOR, HAINES BOROUGH, 103 THIRD AVE S, HAINES, ALASKA 99827
 LEE HEINMILLER, CHAIR, PLANNING COMMISSION, HAINES BOROUGH, 103 THIRD AVE S, HAINES, ALASKA 99827

NOTARY'S ACKNOWLEDGMENTS:
 UNITED STATES OF AMERICA)
 STATE OF ALASKA) S.S.
 THIS IS TO CERTIFY THAT ON THIS 29th DAY OF September 2008 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED
Fred Shields

2008-21
 Haines REC DIST #20
 DATE: Oct 13, 2008
 TIME: 12:37 P.M.
 Requested By: Haines Borough
 Address: Borough

KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.
 WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.
 Notary Public for Alaska
Julie Cozi
 My Commission Expires 1-29-2011
 JULIE COZI
 NOTARY PUBLIC
 STATE OF ALASKA



CERTIFICATE BY THE HAINES BOROUGH
 THE REPLAT OF LOTS 1 THRU 10, BLOCK 1, 1 THRU 8, BLOCK 6, AND HAINES INDEPENDENT SCHOOL METES AND BOUNDS TRACT, PRESBYTERIAN MISSION, PLAT NO. 42, AS DESCRIBED HEREON HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDERS OFFICE DATED:
9/26/08
 LEE HEINMILLER, PLANNING COMMISSION CHAIR
9/25/08
 FRED SHIELDS, MAYOR, HAINES BOROUGH



CERTIFICATE OF REGISTERED LAND SURVEYOR
 I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED AND REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS SHOWN AND THAT TO THE BEST OF MY KNOWLEDGE, ALL EASEMENTS AND RIGHTS OF WAY APPEARING ON THE LAND ARE AS SHOWN.
Douglas Finley
 DOUGLAS FINLEY LS-6277
 DATE: 8/12/08

LEGEND
 ● SECONDARY MONUMENT SET THIS SURVEY
 ⊙ CONCRETE NAIL WITH 1 1/2" SS WASHER SET IN CONC. OUTTER THIS SURVEY
 ○ SECONDARY MONUMENT RECOVERED THIS SURVEY SET BY US OR OTHERS AS NOTED
 — SURVEYED
 - - - UNSURVEYED
 - - - CENTERLINE

A PLAT OF
PRIMARY SCHOOL SUBDIVISION
 A REPLAT OF LOTS 1 THRU 10, BLOCK 1, 1 THRU 8, BLOCK 6, AND HAINES INDEPENDENT SCHOOL METES AND BOUNDS TRACT PRESBYTERIAN MISSION PLAT WITHIN U.S. SURVEY NO. 735 IN THE HAINES BOROUGH, ALASKA HAINES RECORDING DISTRICT - HAINES, ALASKA
DOUGLAS FINLEY LAND SURVEYING
 820 6TH STREET - JUNEAU, ALASKA (907) 586-4253
 DATE: 8/1/08 DRAWN BY: GDM PROJ. No.: HAINES-PRIM-SCHOOL SCALE: 1"=40'
 SHEET 1 OF 1

C:\A\CLTWIN\HAINES-PRIM-SCHOOL.S.DWG

LEGEND

- ⊕ PRIMARY DOT CENTERLINE MONUMENT IN CASING RECOVERED THIS SURVEY
2 1/4" BRASS CAP
- SECONDARY MONUMENT SET THIS SURVEY BY J.W. BEAN
- SECONDARY MONUMENT RECOVERED THIS SURVEY
2" ALUMINUM CAP, SET BY LS 6277

— SURVEYED
- - - UNSURVEYED
— CENTERLINE
— SURVEY TIE



RECORD DIMENSIONS DIFFERENT FROM MEASURED OR CALCULATED DIMENSIONS ARE SHOWN IN PARENTHESIS. ALL RECORDED INFORMATION THIS SURVEY FROM PLAT NO. 2008-21 UNLESS OTHERWISE NOTED.

BASIS OF BEARING

BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF S80°55'00"E TO A FOUND BRASS CAP MONUMENT BEING THE CENTERLINE OF MAIN STREET & 4th STREET TO A FOUND BRASS CAP MONUMENT BEING THE CENTERLINE OF MAIN & 5th STREET, HAINES TOWNSITE AS SHOWN ON RECORD PLAT NO. 2008-21

STATEMENT OF OWNERSHIP:

I HEREBY CERTIFY THAT HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

Date 18 Sep, 2014

Owner Stephanie Scott Owner David Sosa
STEPHANIE SCOTT MAYOR HAINES BOROUGH DAVID SOSA BOROUGH MANGER HAINES BOROUGH

NOTARY'S ACKNOWLEDGEMENTS:

UNITED STATES OF AMERICA)
STATE OF ALASKA) S.S.

THIS IS TO CERTIFY THAT ON THIS 18th DAY OF September, 2014 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED:

Stephanie Scott
David Sosa

KNOWN TO ME TO BE THE PERSON (PERSONS) DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE (SHE) (THEY) SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE
Notary Public, State of Alaska
Commission # 1406176
My Commission Expires June 18, 2018
Notary Public for Alaska
My Commission Expires June 18, 2018

CERTIFICATE BY THE HAINES BOROUGH

THE REPLAT OF LOT 8, PRIMARY SCHOOL SUBDIVISION, PLAT NO. 2008-21, AS DESCRIBED HEREON HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDERS OFFICE DATED:

Rob Goldberg, 2014. DATE 9/19/2014
HAINES BOROUGH PLANNING COMMISSION CHAIR
Stephanie Scott, DATE 9-18-2014
HAINES BOROUGH MAYOR

CERTIFICATE OF REGISTERED LAND SURVEYOR

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED AND REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS SHOWN AND THAT ALL EASEMENTS AND RIGHT OF WAYS APPEARING ON THE LAND ARE AS SHOWN.

Date 9-18-2014 J.W. Bean
J.W. BEAN



J.W. BEAN INC.
PROFESSIONAL SURVEYOR
1070 ARCTIC CIRCLE
JUNEAU - ALASKA
(907) 789-0590
SURVEYOR - PLANNER
PROJ: HNS-8114-WHEELER-LOTS8A&B

CERTIFICATION OF BOROUGH ASSESSOR

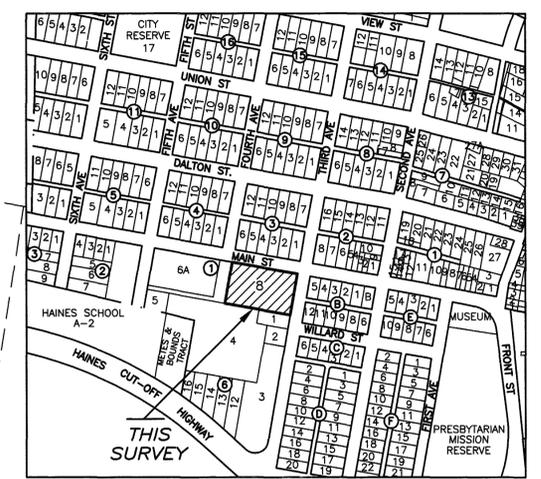
I HEREBY CERTIFY THAT THE APPLICANTS ARE NOT DELINQUENT ON PROPERTY TAXES FOR THE PROPERTY SPECIFIED ON THE SUBDIVISION PLAT SHOWN HEREON.

Dated September 18, 2014.

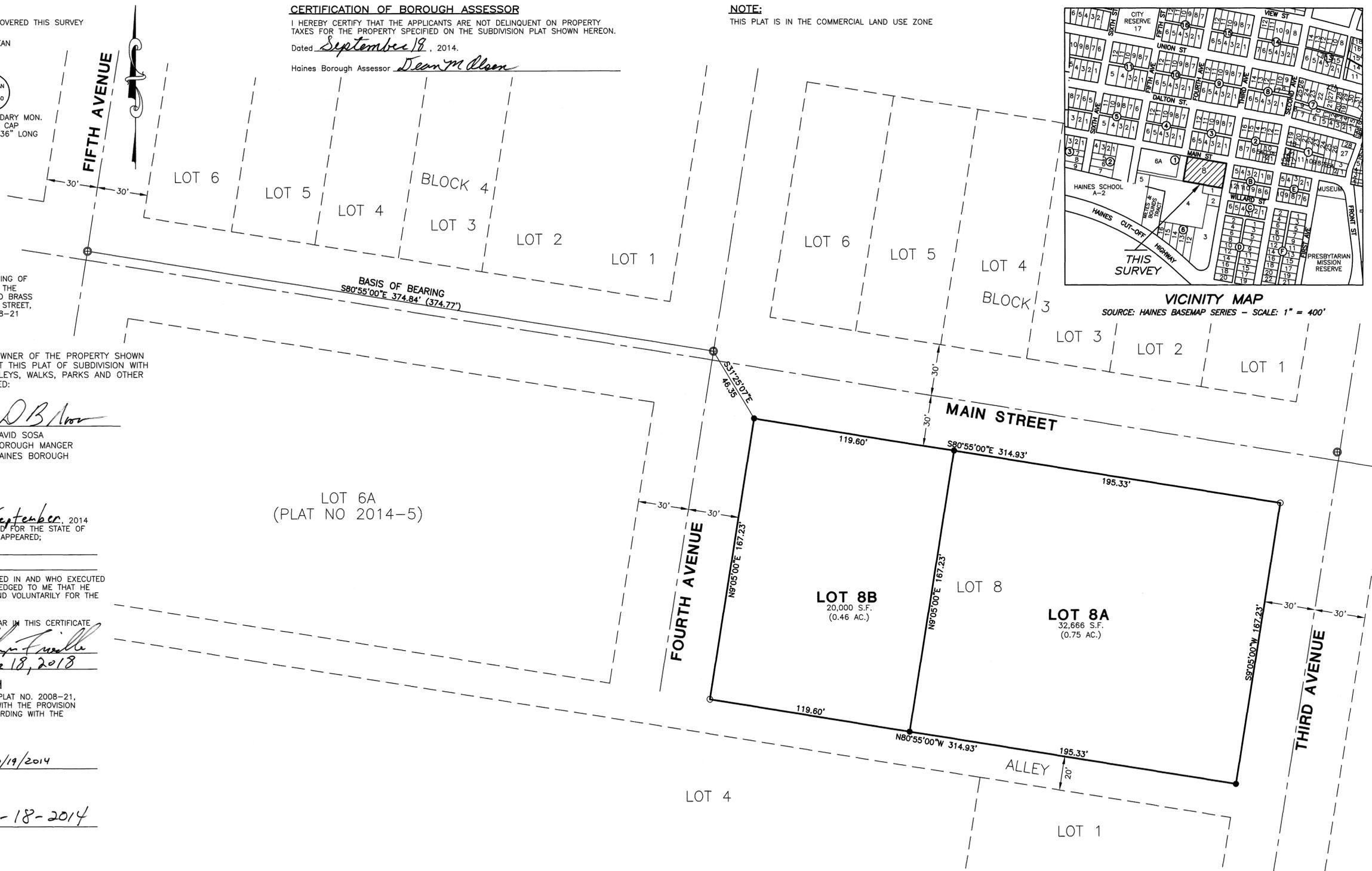
Haines Borough Assessor Dean Olson

NOTE:

THIS PLAT IS IN THE COMMERCIAL LAND USE ZONE



VICINITY MAP
SOURCE: HAINES BASEMAP SERIES - SCALE: 1" = 400'



2014-7
Plat # Haines
Rec Dist
Date 9-22 2014
Time 10:40 A.M.

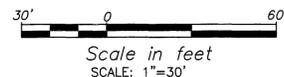
NOTES:

- ALL PLAT BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARINGS.
- ALL DISTANCES SHOWN ARE REDUCED TO HORIZONTAL.
- LOTS WITHIN THIS SUBDIVISION ARE SERVED BY THE HAINES BOROUGH MUNICIPAL WATER AND SEWER SYSTEMS.

A RESUBDIVISION OF LOT 8, PRIMARY SCHOOL SUBDIVISION CREATING LOTS 8A & 8B, WITHIN U.S. SURVEY NO. 735 WITHIN HAINES TOWNSITE, ALASKA HAINES RECORDING DISTRICT - HAINES, ALASKA

OWNERS:
HAINES BOROUGH
PO BOX 1209
HAINES, ALASKA 99827

SURVEYOR:
JW BEAN, INC.
PROFESSIONAL SURVEYOR
1070 ARCTIC CIRCLE
JUNEAU, ALASKA 99801



E:\GDM\BEAN\HAINES\HNS-8114-WHEELER-LOTS8A&B.DWG 3:40:08 PM AST 9/16/2014

LEGEND

- ⊕ PRIMARY DOT CENTERLINE MONUMENT IN CASING RECOVERED THIS SURVEY
2 1/4" BRASS CAP
 - SECONDARY MONUMENT SET THIS SURVEY BY J.W. BEAN
 - SECONDARY MONUMENT RECOVERED THIS SURVEY
2" ALUMINUM CAP, SET BY LS 6277
-
- SURVEYED
 - - - UNSURVEYED
 - CENTERLINE
 - SURVEY TIE
 - ⊗ WATER VALVE
 - CLEANOUT



TYPICAL SECONDARY MON.
2" ALUM. CAP
5/8" REBAR, 36" LONG

RECORD DIMENSIONS DIFFERENT FROM MEASURED OR CALCULATED DIMENSIONS ARE SHOWN IN PARENTHESIS. ALL RECORDED INFORMATION THIS SURVEY FROM PLAT NO. 2008-21 UNLESS OTHERWISE NOTED.

BASIS OF BEARING

BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF TO A FOUND BRASS CAP MONUMENT BEING THE CENTERLINE OF MAIN STREET & 4th STREET TO A FOUND BRASS CAP MONUMENT BEING THE CENTERLINE OF MAIN & 5th STREET, HAINES TOWNSITE AS SHOWN ON RECORD PLAT NO. 2008-21

STATEMENT OF OWNERSHIP:

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND THAT WE DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

Date AUGUST 20, 2014

Owner George Swift
HAINES RESIDENCE, LLC.
GEORGE SWIFT
MANAGER

NOTARY'S ACKNOWLEDGEMENTS:

UNITED STATES OF AMERICA)
STATE OF ALASKA) S.S.

THIS IS TO CERTIFY THAT ON THIS 20th DAY OF August, 2014 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED;

George Swift

KNOWN TO ME TO BE THE PERSON (PERSONS) DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE (SHE) (THEY) SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN

Notary Public for Alaska Uma Olsen
My Commission Expires 6/15/15

CERTIFICATE BY THE HAINES BOROUGH

THE REPLAT OF LOTS 6 & 7, PRIMARY SCHOOL SUBDIVISION, PLAT NO. 2008-21, AS DESCRIBED HEREON HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDERS OFFICE DATED:

_____, 2014.

Rob Goldberg 8/21/14
HAINES BOROUGH PLANNING COMMISSION CHAIR
ROB GOLDBERG

Stephanie K Scott 8-21-14
HAINES BOROUGH MAYOR
STEPHANIE SCOTT

CERTIFICATE OF REGISTERED LAND SURVEYOR

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED AND REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS SHOWN AND THAT ALL EASEMENTS AND RIGHT OF WAYS APPEARING ON THE LAND ARE AS SHOWN.

Date 7-5-2014
J.W. BEAN



J.W. BEAN INC.
PROFESSIONAL SURVEYOR
1070 ARCTIC CIRCLE
JUNEAU - ALASKA
(907) 789-0890
SURVEYOR - PLANNER
PROJ: HNS-5114-ASPEN HOTEL-LOT 6A

CERTIFICATION OF BOROUGH ASSESSOR

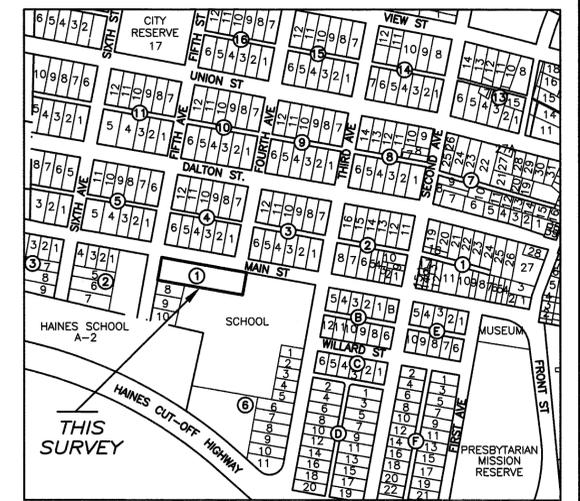
I HEREBY CERTIFY THAT THE APPLICANTS ARE NOT DELINQUENT ON PROPERTY TAXES FOR THE PROPERTY SPECIFIED ON THE SUBDIVISION PLAT SHOWN HEREON.

Dated August 21, 2014.

Haines Borough Assessor Dean M. Olsen

NOTE:

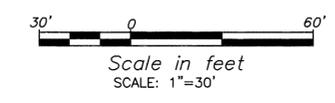
THIS PLAT IS IN THE COMMERCIAL LAND USE ZONE



2014-5
Plat # HAINES
Rec Dist
Date 8-22 2014
Time 10:01 A.M.

A LOT LINE VACATION OF LOTS 6 & 7, PRIMARY SCHOOL SUBDIVISION INTO LOT 6A, PRIMARY SCHOOL SUBDIVISION WITHIN U.S. SURVEY NO. 735 WITHIN HAINES TOWNSITE, ALASKA HAINES RECORDING DISTRICT - HAINES, ALASKA

OWNER: HAINES RESIDENCE, LLC. GEORGE SWIFT, MANAGER 1105 PORTER WAY MILTON, WA. 98354
SURVEYOR: J.W. BEAN, INC. PROFESSIONAL SURVEYOR 1070 ARCTIC CIRCLE JUNEAU, ALASKA 99801
SCALE: 1"=30' DATE: 7-01-2014 SHEET 1 OF 1



NOTES:

1. ALL PLAT BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARINGS.
2. ALL DISTANCES SHOWN ARE REDUCED TO HORIZONTAL.
3. LOTS WITHIN THIS SUBDIVISION ARE SERVED BY THE HAINES BOROUGH MUNICIPAL WATER AND SEWER SYSTEMS.

E:\GDM\BEAN\HAINES\HNS-5114-ASPEN HOTEL\HNS-5114-ASPEN HOTEL-LOT 6A.DWG 7/01/2014 7:32:08 PM AST

CERTIFICATE BY THE CITY OF HAINES

THE REPLAT OF PRESBYTERIAN MISSION PLAT, LOTS 1 THRU 8, AS DESCRIBED HEREON HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDERS OFFICE DATED: JULY 3, 2001.
AUGUST

Joanne Waterman
Acting
JOANNE WATERMAN
PLANNING COMMISSION CHAIR

Susan V. Johnston
ATTEST:
SUSAN V. JOHNSTON
CITY CLERK

GENERAL NOTES:

1. THIS PLAT IS BASED ON THE RECORD PLAT OF U.S.S. 1179, PRESBYTERIAN MISSION PLATE, ON RECORD WITH THE HAINES RECORDER.
2. ALL BEARINGS AND DIMENSIONS SHOWN HEREON ARE BASED ON SAID RECORD PLAT.
3. A FIELD SURVEY WAS NOT REQUESTED OR PERFORMED IN REGARDS TO THIS PLAT.

STATEMENT OF OWNERSHIP:

I (WE) HEREBY CERTIFY THAT I AM THE MAYOR OF HAINES BOROUGH AND THAT THE HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON. I HEREBY ADOPT THIS PLAT FOR THE HAINES BOROUGH WITH MY FREE CONSENT, AND DEDICATE ALL EASEMENTS, ROADS, TRAILS, PARKS AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED HEREON.

Date 8-01-01, 2001

FOR HAINES BOROUGH

Jerry Lapp
JERRY LAPP, MAYOR

Attest: Karen Harvey
Haines Borough Clerk

SPECIAL NOTE:
THIS SURVEY DOES NOT CONSTITUTE A SUBDIVISION AS DEFINED BY A.S. 40.15.290 (2a)

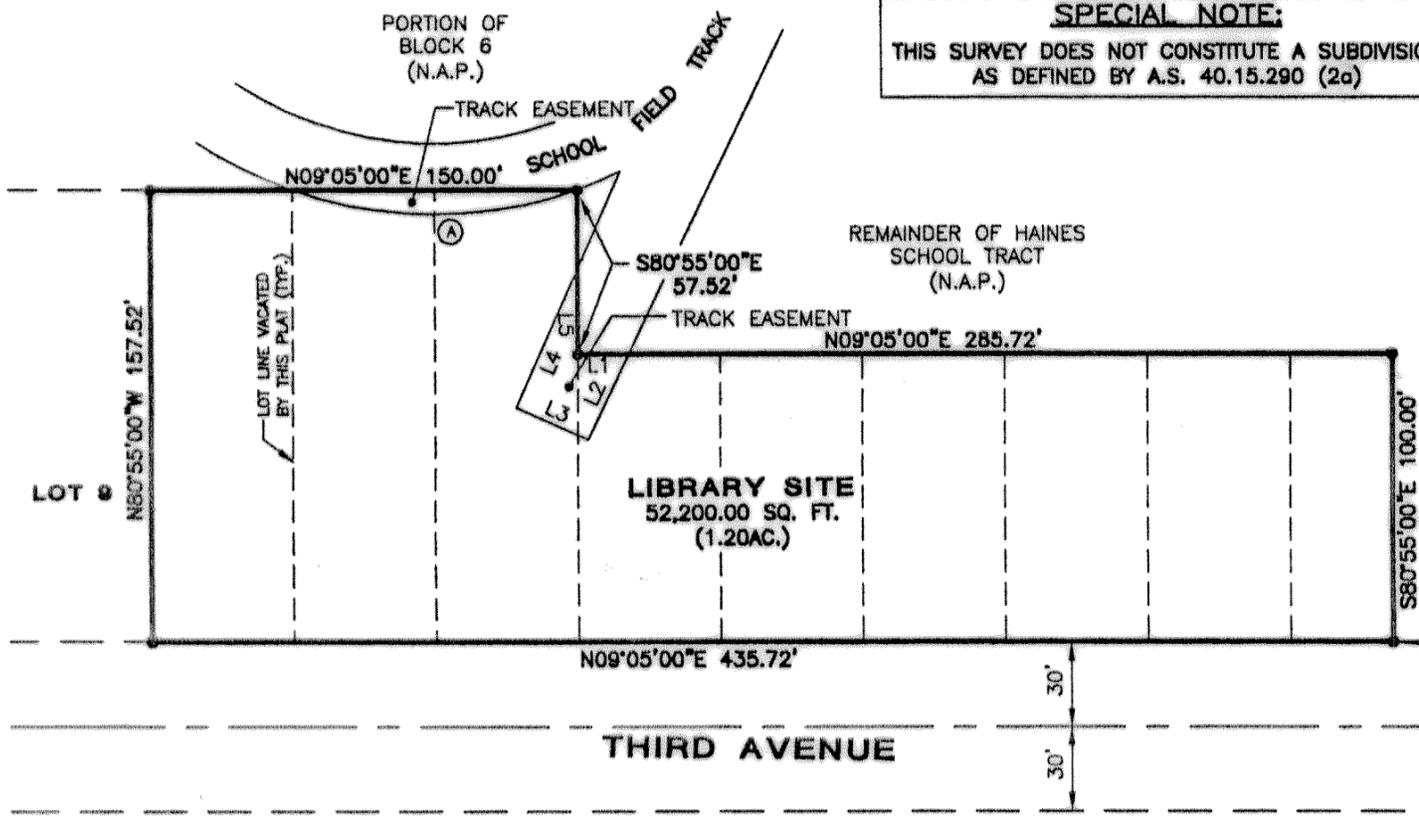
NOTARY'S ACKNOWLEDGEMENTS:

THIS IS TO CERTIFY THAT ON THIS 15 DAY OF AUGUST, 2001 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED;

KNOWN TO ME TO BE THE MAYOR OF HAINES BOROUGH AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Notary Public for Alaska
My Commission Expires 10-15-01

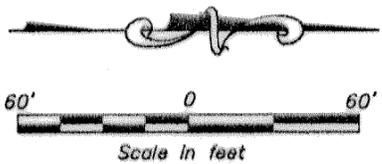


LINE	BEARING	DISTANCE
L1	N 09°05'00" E	18.03'
L2	S 55°14'43" E	33.14'
L3	S 32°52'38" W	27.62'
L4	N 56°53'07" W	53.01'
L5	S 80°55'00" E	29.69'

CERTIFICATE OF REGISTERED LAND SURVEYOR

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED AND REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS SHOWN AND THAT ALL EASEMENTS AND RIGHTS OF WAY APPEARING ON THE LAND ARE AS SHOWN.

Date 7-24-2001
J.W. Bean
J.W. BEAN L.S.
REGISTRATION NO. 3650-S



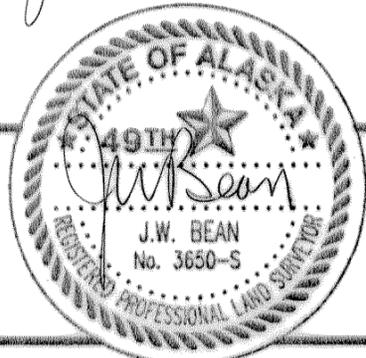
FD. CENTERLINE MONUMENT INTERSECTION OF THIRD AVENUE AND MAIN STREET

2001-10
20.00 CC
HAINES REC DIST

DATE 8-15 2001
TIME 12:52 PM
Requested By CITY OF HAINES
Address _____

FD. CENTERLINE MONUMENT INTERSECTION OF SECOND AVENUE AND MAIN STREET

- LEGEND**
- ⊕ PRIMARY MONUMENT RECOVERED THIS SURVEY
 - SECONDARY MONUMENT WITH CAP SET THIS SURVEY BY J.W. BEAN



DRAWN BY: GDM Graphics
CHECKED BY: J.W.B.
DRAWING DATE: 7-16-2001
FIELD BOOK:
SCALE: 1" = 60'
JOB No.: HNS-016-2001
GRID

J.W. BEAN INC.
PROFESSIONAL SURVEYOR

1070 ARCTIC CIRCLE
JUNEAU - ALASKA
(907) 789-0590

SURVEYOR - PLANNER

A RECORD OF SURVEY PLAT
VACATED LOT LINES ON LOTS 1 THRU 8, BLOCK 6, PRESBYTERIAN MISSION PLAT AND FRACTION OF HAINES INDEPENDENT SCHOOL PROPERTY, WITHIN CITY OF HAINES, ALASKA.
HAINES RECORDING DISTRICT - HAINES, ALASKA

J.W. Bean/HNS-016-2001/ALASKA-916-2001.dwg 07/16/01 08:50:45 PM AIT



PRESBYTERIAN MISSION PLAT
 SUBDIVISION OF
 A FRACTION OF
 U.S. SURVEY NO. 735
 SCALE 1"=100'
 AUGUST 19-1957
 W. MUNCASTER, REGISTERED SURVEYOR, HAINEES, ALASKA
 MONUMENTS ARE SHOWN THUS
 ALL CORNERS ARE PIPE EXCEPT WHERE THE ARE *

CERTIFICATE OF APPROVAL BY THE BOARD
 I hereby certify that the Subdivision Plat shown hereon has been found to comply with the Subdivision Regulations of the Haines District and that said Plat has been approved by the Board of Planning and Zoning, Haines, Alaska, on August 19, 1957.
 Attest: *John H. Thompson*
 Chairman, Haines District Planning Board

CERTIFICATE OF APPROVAL BY THE BOARD
 I hereby certify that the Subdivision Plat shown hereon has been found to comply with the Subdivision Regulations of the Haines City and that said Plat has been approved by the Board of Planning and Zoning, Haines, Alaska, on August 19, 1957.
 Attest: *John H. Thompson*
 Chairman, Haines City Planning Board

CERTIFICATE OF OWNERSHIP AND DEDICATION
 We hereby certify that we are the owners of the property described hereon and that we hereby adopt this plan of subdivision and other open spaces to public use as streets, alleys, walks, parks and other public uses as shown on this plan.
 Witnessed by: *W. Muncaster*
 Surveyor
John H. Thompson
 Chairman, Haines District Planning Board
John H. Thompson
 Chairman, Haines City Planning Board

CERTIFICATE OF REGISTERED SURVEYOR
 I hereby certify that I am a registered professional surveyor and that this plat represents the survey made by me or under my direct supervision, and that all dimensions and other details are correct to the best of my knowledge.
 August 19, 1957
 W. Muncaster
 Registered Surveyor

11/2/57

HAINES BOROUGH
RESOLUTION 05-08-068

Adopted

A RESOLUTION OF THE ASSEMBLY OF THE HAINES BOROUGH, ALASKA, AUTHORIZING THE MANAGER TO ACQUIRE, IN THE BEST INTERESTS OF THE COMMUNITY, THE SCHAFER REAL ESTATE PROPERTY LOCATED WITHIN THE MISSION SUBDIVISION.

WHEREAS, the Haines Borough School Board and community committees have recommended to the Haines Borough Assembly that the following real estate properties be acquired in the best interests of the public and the School District; and,

WHEREAS, the purchase of the following real estate properties, situated within the Mission Subdivision, Haines Borough, First Judicial District, State of Alaska, will result in cost savings to the school construction project: Lots 1 through 11, Block 3; and Lots 4 through 6, Block 4; and

WHEREAS, the owners of the described real estate properties, Albert E. and Willian M. Schafer, have agreed to sell it to the Haines Borough; and,

WHEREAS, the Borough Assembly, at their August 9, 2005 meeting concurred that the Borough should offer to purchase the above described property from the Schafers for a total sum of three hundred fifty thousand dollars (\$350,000.00) and with an earnest money payment of five thousand dollars (\$5,000.00) and the balance of three hundred fifty thousand dollars (\$345,000.00), in addition to any closing fees, to be paid at closing; and,

WHEREAS, the property is to be conveyed by a good and sufficient Statutory Warranty Deed, free and clear of all liens and encumbrances, except conditions, restrictions, reservations, easements and covenants of record, which are acceptable to the Haines Borough and do not affect marketability of title; and,

WHEREAS, the closing of this transaction is subject to, and dependent upon, the Haines Borough Assembly's appropriation of funds in the amount required for closing this transaction; and,

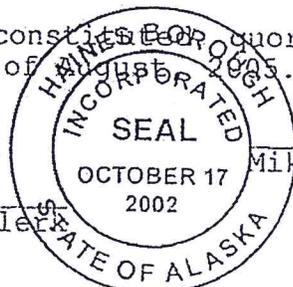
WHEREAS, Haines Borough Code Section 14.04.030 states that "Only upon a specific resolution of the assembly, the manager may act on its behalf in the acquisition of real property when the property to be acquired is for a valuable consideration"; and,

NOW, THEREFORE, BE IT RESOLVED that the Borough Assembly hereby authorizes the borough manager to acquire the real estate property as described above, from Albert E. and Willian M. Schafer for the price and terms hereinabove mentioned.

ADOPTED by a duly constituted quorum of the Haines Borough Assembly this 23rd day of August, 2005.

ATTEST:

Julie Cozzi
Julie Cozzi, Borough Clerk



Mike Case
Mike Case, Mayor

ORIG. copy for Lisa ✓
1-5-06



2005-000720-0

Recording Dist: 106 - Haines
12/28/2005 9:07 AM Pages: 1 of 2

A
L
A
S
K
A



RECEIVED

JAN - 5 2006
Haines Borough

CJ
1-5-06
Exempt for
2006

WARRANTY DEED

CC

The Grantor, AFOGNAK CONSTRUCTION & EXCAVATING, INC., whose address is P.O. Box 610, Seward, Alaska 99664 for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, conveys and warrants to Grantee HAINES BOROUGH, an Alaska municipal corporation, whose address is P.O. Box 1209, Haines, Alaska 99827, and to the successors and assigns of the Grantee, forever, the following real property:

Lots 1 through 11 of Block 3 and Lots 4, 5, and 6 of Block 4, as described in a survey entitled Presbyterian Mission Plat Subdivision, of a fraction of U.S. Survey 735, Haines Recording District, First Judicial District, State of Alaska;

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining; subject to conditions, reservations, restrictions, covenants, rights of way and easements of record, including without limitation those set forth in the United States Patent and the subdivision plat, if any.

Dated this 20th day of December, 2005.

GRANTOR
AFOGNAK CONSTRUCTION &
EXCAVATING, INC.

By: Albert E. Schafer
Albert E. Schafer, President

HBC 18.20.020 Definitions – Regulatory.

“Foundation, permanent” means footings and foundations that shall be constructed of masonry, concrete; or treated wood as defined in the Uniform Building Code. Footings of concrete and masonry shall be of solid material. Foundations supporting wood shall extend at least six inches above the adjacent finished grade. Bearing walls shall be supported on masonry or concrete foundations or piles or other approved foundation systems of a sufficient size to support all loads. It is incumbent on the developer to assure that the foundation is properly designed and constructed. The Haines Borough accepts no responsibility for the stability or future salability of any building due to an improperly designed or constructed foundation.

“Temporary use” means a building or structure that is capable of being immediately moved, or a use which is for a limited time up to 18 months.

“Trailer” means a vehicular-type portable structure without motive power or a permanent foundation, which is meant to be towed or hauled by a motorized vehicle and is primarily designed as temporary living accommodations for recreational, camping and travel use. The term includes travel trailers, truck campers, fifth-wheel trailers and camping trailers.

HBC 18.40.040 Temporary uses and buildings.

A. A developer proposing a temporary use of land or building which would otherwise require an approval under provisions of this chapter is required to obtain a temporary use permit prior to any site work, except that temporary buildings associated with the construction of an approved use do not require a permit (i.e., tool shed, etc.). The manager may issue an approval under the same procedures as for a land use permit pursuant to HBC [18.40.030](#) and [18.60.020](#)(H). No building or use requiring a variance shall be permitted under this section.

B. Within five days of the expiration of a temporary use permit, all buildings and other materials associated with the temporary use shall be removed from the site and the site restored to the condition it was in prior to the development of the temporary use.

HBC 18.70.040 Zoning use chart.

ZONING USE CHART

TOWNSITE PLANNING/ZONING DISTRICT

UBR = Use-By-Right CU = Conditional Use NA = Not Allowed GFA = Gross Floor Area

█ = Permit Required

□ = Permit Not Required

Under General Classification, uses in UPPER CASE are primary and uses in lower case are secondary.

GENERAL CLASSIFICATION ➔	INDUSTRIAL USES			COMMERCIAL/ Residential Uses			RESIDENTIAL USES ONLY	RESIDENTIAL/ Commercial Uses				RECREATIONAL USE
	Heavy Industrial	Light Industrial/ Commercial	Waterfront Industrial	Commercial	Waterfront	Significant Structures Area	Single Residential	Multiple Residential	Rural Residential	Rural Mixed Use	Multiple Use	Recreational
Specific Zoning Districts ➔												
USES ↓	I/H	I/L/C	I/W	C	W	SSA	SR	MR	RR	RMU	MU	REC
Commercial, Light – Less than 500 sf	CU	UBR	CU	UBR	UBR	UBR	NA	CU	UBR	UBR	UBR	NA
Commercial, Medium – 500 – 5,000 sf	CU	UBR	CU	UBR	CU	CU	NA	NA	CU	CU	UBR	NA
Commercial, Major – More than 5,000 sf	UBR	UBR	UBR	UBR	CU	CU	NA	NA	NA	NA	UBR	NA
Temporary Structure	UBR	UBR	UBR	UBR	CU	CU	UBR	UBR	UBR	UBR	UBR	CU
Temporary Use	UBR	UBR	UBR	UBR	CU	CU	UBR	UBR	UBR	UBR	UBR	CU
Trailer*/Mobile Home Outside Mobile Home Park	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	UBR	NA

* Exception: Recreational trailers parked but not used for habitation or storage.