



# Haines Borough Planning Commission Regular Meeting Agenda

## COMMISSIONERS:

ROB GOLDBERG, CHAIR  
LEE HEINMILLER, VICE-CHAIR  
ROBERT VENABLES  
ROGER MAYNARD  
ANDY HEDDEN  
DON TURNER III  
DANIEL GONCE

Thursday, February 9, 2012 - 6:30 p.m.

Assembly Chambers, 213 Haines Hwy.

1. **CALL TO ORDER / PLEDGE TO THE FLAG**
2. **ROLL CALL**
3. **APPROVAL OF AGENDA**
4. **APPROVAL OF MINUTES:** None (December 8<sup>th</sup> and January 19<sup>th</sup> minutes will be available during the March mtg.)
5. **PUBLIC COMMENTS** [Items not scheduled for public hearing]
6. **CHAIRMAN'S REPORT**
7. **STAFF REPORTS** - None
8. **PUBLIC HEARINGS:**
9. **UNFINISHED BUSINESS:** - None
10. **NEW BUSINESS:**
  - A. **Historic District/Building Review:** None
  - B. **Haines Borough Code Amendments:**
    1. **Review of Long Plat Language**

The recent CIA subdivision has shown that under the current plat review language the borough can end up with something different than what was approved by the planning commission. Review of the current code is needed.
  - C. **Project Updates:**
    1. **Review of Port Chilkoot Dock Improvements Phase II**

The engineering firm has completed the 65% drawings for this project and the Planning Commission will review them.
  - D. **Other New Business:**
    1. **Land Use in the 26 Mile Area**

This item is requested by Chairman Goldberg. Residents brought forward a petition to rezone a portion of the area. Additionally, a property owner wants to develop a heliport in the area. Suggested action: Form a Committee of the Planning Commission to work to resolve the ongoing land use disputes in the area.
    2. **Community Waste Solutions Proposal to Purchase Borough Property**

Community Waste Solutions has been ordered by the Department of Environmental Conservation to fix a problem with leachate at their landfill on FAA Road. In order to accomplish this, they are proposing to purchase, through a negotiated land sale, 19.54 acres of Borough land adjacent to the landfill. Options for the Planning Commission to Recommend are: Sell the property, retain the property, or grant an easement.
    3. **Snow Storage Lots**

Question: Are there borough-owned lots in the downtown area that can be used for snow storage?

**11. COMMISSION COMMENTS**

**12. CORRESPONDENCE:**

**13. SCHEDULE MEETING DATES**

**A. Regular Meeting** – Thursday, March 8, 6:30 p.m.

**B. Comprehensive Plan Update** – TBD

**14. ADJOURNMENT**

## Chapter 18.100 SUBDIVISION REGULATIONS

### Sections:

- [18.100.010](#) Purpose.
- [18.100.015](#) Authority.
- [18.100.020](#) Platting of subdivision, lot line adjustment, and lot consolidation required.
- [18.100.025](#) Exceptions.
- [18.100.030](#) Short plat criteria.
- [18.100.035](#) Procedures for short plats.
- [18.100.040](#) *Repealed.*
- [18.100.050](#) Preliminary plat.
- [18.100.060](#) Final plat compliance – State statutes adopted by reference.
- [18.100.065](#) Final plat submission.
- [18.100.070](#) General requirements and design standards.
- [18.100.075](#) Streets.
- [18.100.080](#) Intersections.
- [18.100.085](#) Lots.
- [18.100.090](#) Existing improvements.
- [18.100.092](#) Requirements prior to final plat approval.
- [18.100.095](#) Reservation of public sites and open spaces.
- [18.100.100](#) Approval of final plat.
- [18.100.105](#) Final plat – Requirements – Contents.
- [18.100.112](#) Filing of final plat.
- [18.100.115](#) Dedications of property.
- [18.100.120](#) Agency approval letters required.
- [18.100.125](#) Financial responsibility.
- [18.100.135](#) Amended plats, altered plats, vacations or otherwise changed plats.

### **18.100.010 Purpose.**

The purpose of this chapter is to:

- A. Further the orderly layout and use of land; to provide for the safety, health and welfare of the citizens of the Haines Borough who are landowners, their neighbors, and citizens who purchase land in the future; to secure safety from fire and other dangers; to provide adequate light and air; to prevent the overcrowding of the land through the regulation of planning, including provisions for road, trails and utility easements, public facilities, dedications, vacations, plat review, survey monumentation, variances, appeals and penalties; to facilitate the further subdivision of larger tracts into smaller parcels of land; and to facilitate the adjustment of property boundaries;
- B. Guide the growth of the community in accordance with the service area goals;
- C. Establish reasonable procedures for the subdivision of land, and assure the proper legal description and monumentation of subdivided land;
- D. Prevent pollution, safeguard the water supply and encourage the wise management and use of natural resources. (Ord. 09-03-201 § 4)

### **18.100.015 Authority.**

Authority is delegated to the planning commission by AS [29.40.080](#) to be the platting authority for the borough. The planning commission shall thereby make recommendations to the manager and the assembly in order to establish consistency with the above-stated authority. (Ord. 09-03-201 § 4)

**18.100.020 Platting of subdivision, lot line adjustment and lot consolidation required.**

Any division of land within the borough which results in a subdivision, or any shifting or eliminating of property lines resulting in a lot line adjustment or lot consolidation shall be surveyed and a plat thereof approved and recorded, pursuant to the provisions of this chapter, HBC [18.60.010](#) through [18.60.020](#), and AS [29.40](#) and [40.15](#), as amended from time to time.

A. Subdivision Defined. "Subdivision" means a division of a tract or parcel of land into two or more lots, sites, or other divisions and includes re-subdivisions and, when appropriate to the context, relates to the process of subdividing or to the land or areas subdivided.

B. Lot Line Adjustment Defined. "Lot line adjustment" is defined as the shifting of a property line that does not result in:

1. The creation of additional lots.
2. The creation of new nonconforming lots, including:
  - a. A lot of less than 65 feet of width.
  - b. A lot of less than the minimum size applicable to the zoning district.
  - c. A lot where development or utility becomes located within the setback as a result of the lot line adjustment.
3. The increase of nonconformity of an existing nonconforming lot.
4. The newly adjusted lot exceeding 200 percent of the area of the original lot, with the exception of lots less than the minimum lot size, in which case the newly adjusted lot shall not exceed 150 percent of the minimum lot size specified for the zone.

C. Lot Consolidation Defined. "Lot consolidation," also referred to as "lot line vacation," is the elimination of a lot line or lines that divide multiple lots and results in the consolidation of multiple lots into fewer lots or one lot.

1. The result shall not impair adequate access, access easements or rights-of-way to existing lots.
2. The result shall not create a nonconforming lot or increase the nonconformity of an existing nonconforming lot. (Ord. 09-03-201 § 4; Ord. 06-07-148)

**18.100.025 Exceptions.**

A. The provisions of this chapter shall not apply to transfers of interest in land pursuant to court order.

B. The manager shall have the authority to waive the surveying requirement for a lot consolidation if it is determined that the surveyor can prepare plat documents from accurate and current data for the properties being consolidated. (Ord. 09-03-201 § 4)

**18.100.030 Short plat criteria.**

A subdivision, lot line adjustment, or lot consolidation which falls within the following criteria shall

follow the short plat procedures:

- A. Subdivisions of a single lot into not more than four lots, which has not been part of a short plat within the previous five years.
- B. The requirements of HBC [18.100.070](#) through [18.100.095](#) shall apply.
- C. Lot line adjustments and lot consolidations meet all of the criteria of HBC [18.100.020](#).
- D. If the plat meets the criteria of subsections (A) through (C) of this section and contains a dedication or vacation of a street right-of-way or other area, the short plat procedure may apply upon approval by the manager with an additional requirement of planning commission approval of the plat. (Ord. 10-11-247 § 4; Ord. 09-03-201 § 4)

**18.100.035 Procedures for short plats.**

- A. The applicant and/or surveyor shall submit an application, fee, and short plat in an electronic file format compatible with borough software that meets the requirements of HBC [18.100.105](#) with the exception of the signatures to the borough prior to submitting the mylar print of the final plat.
- B. Upon notification of plat approval, the applicant shall construct or provide the appropriate guarantees for the construction of improvements per HBC 18.100.125 as required by the manager.
- C. The applicant shall submit a mylar print of the approved short plat with all of the required signatures except borough officials. The chair, after approval by the manager of the short plat, shall, on behalf of the planning commission, sign the plat upon the determination that the subdivision and plat meet all the requirements of this chapter. The plat shall be filed in the Haines district recorder's office by the manager. The borough shall keep an electronic file of the plat. (Ord. 10-11-247 § 4; Ord. 09-03-201 § 4)

**18.100.040 Waiver of plat requirements.**

Repealed by 09-03-201.

**18.100.050 Preliminary plat.**

- A. Planning Commission Review. Before submitting a final plat for approval for recording under AS [40.15](#), as amended from time to time, and HBC [18.100.112](#), and unless following the procedures of HBC [18.100.030](#) and [18.100.035](#), the subdivider shall submit a preliminary plat prepared by a registered land surveyor to the commission at 20 percent to 35 percent completion in order that general agreement may be reached on layout and arrangement of streets and lots and other public utilities before a final plat is prepared.
- B. Planning Commission Action. The commission shall process preliminary plats pursuant to the standards set forth for special conditions permits and the standards set forth in this chapter.
- C. Engineering Standards. The preliminary plat shall be drawn with waterproof nonfading black ink or legibly drawn with pencil on tracing cloth, or tracing paper of good quality, measuring 24 inches by 36 inches, at a scale of either 40, 50, 60 or 100 feet to an inch, scaled appropriately for the size of the property being platted, and shall show accurately on its face:
  - 1. The date, scale and north point.
  - 2. The proposed subdivision name, which shall not be so similar to the name of any plat previously recorded in the area as to cause confusion.

3. The name and address of the owner, the subdivider, and the surveyor preparing the plat.
4. The exact length and bearing of the exterior boundaries of the subdivision.
5. Location and names of adjacent subdivisions and the owners of adjoining parcels of unsubdivided land.
6. Zoning on and adjacent to the subdivision.
7. Location, widths and names of all existing and platted streets, alleys, or other public ways and easements, driveways, and utility rights-of-way, tideland leases, parks, cemeteries, watercourses, drainage ditches, permanent buildings, bridges, and other pertinent data.
8. The water elevations of adjoining lakes or streams at the date of the survey and the approximate high and low water elevations of adjoining lakes, streams and tidal areas.
9. If the subdivision borders a lake or stream, the distances and bearing on a meander line established not less than 20 feet back from the mean high higher water mark of the lake or stream.
10. The location of significant natural features such as, but not limited to anadromous fish streams, existing material sites, wetlands, and U.S. Fish and Wildlife cataloged eagle nesting trees.
11. Layout, width and grades of all new streets, driveways, and rights-of-way, such as alleys, highways, easements for sewers, water mains and other public utilities.
12. Dimensions and areas of lots.
13. Proposed building lines.
14. Radii of all curves and length of tangents.
15. Contours at two-foot vertical intervals or at more frequent intervals if required by the commission for land of unusual terrain characteristics. All pertinent elevations should be shown.
16. The location of any hazard areas set forth in HBC [18.60.010](#).
17. Plan sheets of the same scale showing engineering design, both plan and profile, and stamped by a registered professional engineer, of any water, sewer, streets, drainage systems, snow storage sites or other public utility to be considered as part of the development.
18. The area for which such data is to be shown shall extend beyond the boundaries of the actual property being platted a distance sufficient to adequately relate the plat to its surroundings.
19. A minimum of six sets of all plan sheets shall be provided to the commission.

D. Approval of Preliminary Plat. The completed application for approval of the preliminary plat shall be submitted to the manager and placed on the agenda for the next planning commission meeting. Approval of properly prepared preliminary plats shall occur no later than 30 days after submission to the commission. If the commission does not approve of the plat within 30 days of filing, they

shall return the plat to the applicant for modification or correction. Once properly resubmitted with all required information, the commission shall again have 30 days for review and decision. An applicant for plat approval may consent to an extension of the period for action by the commission. Any reason for disapproval shall be so stated upon the records of the commission and provided to the applicant.

E. Forwarding of Approved Preliminary Plat. Upon commission approval of a properly submitted preliminary plat, the applicant shall follow the final plat procedures below.

F. Action Following Approval of Preliminary Plat. Upon approval of the preliminary plat, the applicant may undertake certain activities prior to approval of the final plat. These activities are:

1. Completing surveying and monumentation;
2. Complying with plat conditions required by the commission as conditions of approval, including but not limited to physical improvements to the property such as land clearing, installation of drainage and identification of rights-of-way and easements.
3. Preparing a reproducible mylar plat as approved by the commission.

G. Nullification of Preliminary Plat Approval. Preliminary plat approval shall become nullified if the applicant has not begun surveying and monumenting the lot lines for subdividing the parcel within 24 months of the approval of the preliminary plat. (Ord. 08-06-184)

**18.100.060 Final plat compliance – State statutes adopted by reference.**

A final plat of subdivided land shall comply with the requirements of AS [40.15](#), and AS [29.40](#), as amended from time to time, which is incorporated by reference herein, and the provisions of this title.

**18.100.065 Final plat submission.**

The final plat and four copies thereof shall be submitted to the manager within 24 months of approval of the preliminary plat. However, if approval of the preliminary plat must be obtained from another governmental body after approval by the commission, the final plat shall be submitted within six months of such other approval. Failure to submit the final plat within the required time period shall result in a cancellation of the previous preliminary plat approval. Upon official filing, the manager shall forward the plat to the commission at their next regularly scheduled meeting. Public notice shall be provided. (Ord. 09-01-197)

**18.100.070 General requirements and design standards.**

The proposed subdivision shall conform to:

- A. The provisions of AS [40.15](#), and AS [29.40](#), as amended from time to time and all other relevant laws and regulations.
- B. All applicable ordinances of the borough.
- C. The comprehensive plan and the coastal management plan of the borough.
- D. The regulations of the State Department of Transportation and Public Facilities relating to safety of access and the preservation of the public interest and investment in streets and highways if the subdivision of any lot contained therein abuts on a state highway.
- E. The requirement that approvable building sites exist on each proposed lot, as defined within this

title, except for lots specifically set aside and dedicated (1) as hazardous slope setbacks, (2) as special drainage easements, and/or (3) as open space and greenbelts. Where regulated, proposed new land development activities in new subdivisions which lie within the borough must conform to special hazardous area management requirements (See HBC [18.60.010\(T\)](#)), and must ensure that the water quality of streams and major drainages is maintained and that they are not obstructed without adequate mitigation.

F. Block and Lot Designation. Within any new multi-phased subdivision, block designations shall not be repeated from phase to phase, but shall continue sequentially from one phase to the next (i.e., if Block C is the last block in Phase I, the first block in Phase II would be Block D). Preferably, blocks shall be designated by a letter of the alphabet beginning with A and lots by numbers, beginning with one.

G. Subdivision Name. A new subdivision name shall not be so similar to the name of any existing subdivision so as to cause confusion.

H. Access and Buffers. All lots must be guaranteed a public access easement of at least but not limited to five feet in width. It is recommended that subdividers establish public access easements along property lines that follow natural corridors. All streams and watercourses used to provide DEC-approved domestic water shall be protected by a 25-foot buffer on each side, measured from the stream bank.

#### **18.100.075 Streets.**

The design and construction of streets, roads, and sidewalks in subdivisions shall be governed by the provisions of HBC [12.08.030](#) through [12.08.190](#). (Ord. 08-03-180)

#### **18.100.080 Intersections.**

A. Right Angle. Streets shall intersect as nearly as possible at right angles and not more than two streets shall intersect at one point unless approval is granted by the commission.

B. Rounded. Property lines at street intersections shall be rounded with a radius of at least 15 feet.

C. Jogs. Street jogs with center line offsets of less than 125 feet shall be avoided. Where streets intersect major streets, their alignment shall be continuous.

#### **18.100.085 Lots.**

A. In General. The size, shape and orientation of lots shall be appropriate for the location and physical attributes of the subdivision and for the type of development contemplated.

B. Lot Dimensions/Size.

1. Lots should be designed with a suitable proportion between width and depth. Normal lot width should not be less than 65 feet. Normal lot depth should not exceed two and one-half times the width, nor be less than 100 feet. Unless otherwise provided, lots shall in no instance be less than 10,000 square feet in total area.

2. Depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.

3. Residential lots abutting on major streets and highways shall be platted with sufficient depth to permit adequate separation between the buildings and such traffic ways.

C. Corner Lots. Corner lots should be designed to permit a setback on all lot lines abutting streets as required by the zoning ordinance.

D. Access to Public Streets. Every lot shall front or abut on a dedicated public right-of-way with the exception of subdivisions or lots that are in roadless areas of the borough and accessed solely from a navigable water body, in which case all lots shall be accessible from the navigable water body or via a dedicated access easement from the water body. Lots with an access only to private drives shall not be permitted unless a permanent easement has been granted and properly recorded. No lots shall access an alley as the means of access to public streets.

E. Lots at Right Angles. Lots at right angles to each other should be avoided wherever possible, especially in residential areas.

F. Lot Lines. Side lot lines shall be substantially at right angles or radial to street lines.

G. Large Lots. Where lots are created of a size larger than normal for the area, the commission shall require that the plat be so designated as to allow for the possible future re-subdivision of such lots into sizes normal for the area.

H. Small Lots. Where lots are created that are less than 20,000 square feet in area, the commission shall require that the plat be so designated as to not allow for re-subdivision of such lots.

I. Municipal Boundaries. Lots shall follow municipal boundary lines wherever practicable, rather than cross them.

J. Multiple Frontages. Lots abutting a street on more than one side shall be avoided except where necessary to provide separation of residential development from traffic or to overcome specific disadvantages of topography and orientation. (Ord. 10-11-247 § 4)

#### **18.100.090 Existing improvements.**

A. Existing Structures. Where structures exist on a property that is to be subdivided, any structure within 20 feet of any lot line must be shown on the plat and an accurate indication of the distance of each structure to all lot lines shall be shown.

B. Existing Utilities. Where utilities exist on a property that is to be subdivided, they must be accurately shown on the plat. Utilities include water wells, on-site wastewater systems, domestic water and sewer lines, electric power lines, telephone and TV cables.

#### **18.100.092 Requirements prior to final plat approval.**

A. Utilities.

1. Water and Sewer. The subdivider, at the subdivider's own expense and prior to final plat approval, in accordance with the approved preliminary plat, shall construct, per borough specifications, all water and sewer utilities to service each lot individually within the subdivision to be created. The subdivider may elect to provide performance and payment bonding as allowed in HBC [18.100.125](#) in order to have authorization to proceed to a final plat procedure.

2. When, in the opinion of borough staff, no public sanitary sewer and/or water service is available within 200 feet of any exterior property line of a new subdivision in which all lots are one acre or larger in area, the developer may request an exemption from the requirements to connect to public utilities. All regulations of the State Department of Environmental

Conservation pertaining to water extraction and wastewater disposal, as well as the requirements of HBC [13.04.080\(G\)](#) pertaining to on-site wastewater disposal, shall apply. If exempted from the requirement to connect to public utilities, a plat note must be placed on the plat stating that public water and/or sewer are not available to the subdivision and that all future property owners in the subdivision must provide written Department of Environmental Conservation (DEC) approval of their on-site wastewater system design prior to a land use permit being issued. Upon installation and before closure, the wastewater disposal system must be inspected and approved by a DEC-approved inspector. The wastewater disposal system must also be inspected by a DEC-approved inspector, at the property owner's expense, every two years, in the spring of the year, with a written approval of the system submitted to the borough by June 1st of the year.

When public sanitary sewer and/or water service becomes available, property owners will be required to connect to the public utility within six months.

B. Streets. The subdivider shall, prior to final plat approval, at the subdivider's own expense and in accordance with the approved preliminary plat and borough specifications, along all dedicated streets, including existing half-streets, construct all required roads to meet or exceed the road standards in HBC [12.08.030](#) through [12.08.190](#).

C. Monuments. All exterior corners and street intersections of the subdivision shall be marked by permanent monuments set in the ground. All individual lots shall have their perimeter corners staked. If the plat corner or a lot corner is identical with a plat corner or lot corner of a U.S. Survey, a U.S. Mineral Survey, or an Alaska Tidelands Survey, the primary monument of such survey shall be shown on the plat, or reestablished and shown if not found. (Ord. 09-01-197)

#### **18.100.095 Reservation of public sites and open spaces.**

In order that adequate open spaces and sites for public uses may be properly located and preserved as the community develops, and in order that the cost of providing the public facilities necessary to serve the additional families brought into the community by subdivision development may be most equitably apportioned, the following provisions are established:

A. Design Consideration. In the design of the plat, consideration shall be given to the adequate provision of and correlation with such public sites or open spaces.

B. Reservation May Be Required. Where it is determined by the commission that a portion of the plat is required for such public sites or open spaces, the subdivider shall be required to reserve such area for a period not to exceed five years, after which the borough shall either acquire the property or release the reservation.

#### **18.100.100 Approval of final plat.**

The commission shall approve or reject the final plat within 60 days from the date of filing, after public notice, unless the time is extended by agreement with the subdivider. Reasons for rejection shall be limited to failure to implement the terms of the preliminary plat approval or final plat requirements, and stated in the minutes of the meeting. A copy thereof shall be supplied to the subdivider.

#### **18.100.105 Final plat – Requirements – Contents.**

A. The following information must be included on any final subdivision or final short plat mylar submitted to the borough for approval and forwarding to the Haines district recorder's office for filing. One mylar must be submitted measuring 24 inches by 36 inches at a scale of either 40, 50, 60 or 100 feet to an inch, or scaled appropriately for the size of the property being platted. The plat

shall show accurately on its face the following:

1. Title block reflecting the overall intent of the plat, containing a legal description of the property to be subdivided, subdivision name, date, scale, client name and address, surveyor name and sheet number.
2. Surveyor's certificate dated and signed by surveyor.
3. Surveyor's stamp with original signature.
4. Ownership certificate and dedication naming all property owners affected by the plat, signed by all owners, dated and notarized.
5. Notary acknowledgment – notarizing signatures of all property owners. The names of the persons signing must be included in the contents of the acknowledgment. Notary stamp must be affixed in ink and commission expiration date written.
6. Statement of property taxes paid with signature of borough assessor, dated.
7. Statement of water and sewer sources.
8. *Repealed by Ord. 08-02-177.*
9. Certificate of approval of the planning commission with signature of chair, dated.
10. Signature of the mayor of the borough, dated.
11. Pages numbered 1 of 1, or 1 of 2, 2 of 2, etc.
12. North point.
13. Dimensions of all lots.
14. Layout, width and bearing of all streets and rights-of-way, such as alleys, highways, easements for sewers, water mains and other public uses.
15. Radii of all curves and lengths of tangents.
16. Identification system for all lots and blocks.
17. Existing structures and utilities as per HBC [18.100.090](#). (Ord. 08-02-177)

**18.100.112 Filing of final plat.**

Once final plat approval has been given by the planning commission, the developer shall provide the manager with the original mylar of the approved plat with all required signatures except borough officials. The developer shall also submit the plat in an electronic file format compatible with borough software. The manager shall obtain the signatures of the appropriate borough officials, then file the plat with the Haines district recorder's office in Juneau, retaining copies of the plat for the borough planning department and the borough assessor. Once a plat number is assigned to the plat, it shall be recorded on the borough's paper copy. Copies of the mylar may be obtained from the State Recorder's Office for a fee.

**18.100.115 Dedications of property.**

A. When the plat of the subdivision is approved and recorded, all streets, alleys, thoroughfares,

easements, parks and other public areas shown on the plat are deemed to have been dedicated to public use.

B. The planning commission may accept property for dedication to public use and advancement of the public welfare, outside the process of approving a subdivision.

C. The commission shall hold a public hearing on the proposed dedication. Property owners adjacent to the proposed dedication shall be notified of the public hearing at least 30 days in advance of the hearing. Notice of the hearing shall also be posted in a conspicuous place in the borough 30 days in advance of the hearing.

D. A plat of dedication shall contain a short narrative explaining the purpose of the dedication, a full legal description, a map to scale showing the linear dimensions of the property to be dedicated, and shall contain the donor's certificate of dedication to public use and the commission's acceptance, and shall be submitted for recording at the district recorder's office. No public right-of-way accepted by the planning commission shall be maintained by the borough unless approved by the borough assembly.

#### **18.100.120 Agency approval letters required.**

Prior to the approval and recording of the final plat, any required agency approvals must be submitted in written form to the commission. This is in reference, for example, to coastal zone management, Army Corps of Engineers, Department of Environmental Conservation, Department of Natural Resources and Department of Transportation. All other state and federal permitting requirements apply and shall be submitted as approved by the appropriate agency to the commission.

#### **18.100.125 Financial responsibility.**

When the developer elects to obtain final plat approval prior to the full installation of improvements required by HBC [18.100.090](#), the commission shall require the developer to guarantee the installation of such improvements by one or a combination of the methods specified below. This is to encourage development by allowing the developer to proceed with final plat approval in order to allow the sale of lots prior to construction of all required improvements.

In all such methods guaranteeing installation of improvements, the borough shall estimate the cost of the improvements and shall require the installation of improvements within one year of date of final plat approval. The use of any method of financial guarantee allowed by this section shall require the developer to pay a \$250.00 nonrefundable administrative fee to the borough for administrative costs.

A. Performance and Payment Bond. The developer may furnish and file with the borough a corporate surety bond or cash bond to provide performance and payment bonding equal to the 120 percent of the estimated cost of the improvements to assure the actual construction of such improvements. In cases where the developer chooses to furnish a cash bond, such funds shall be deposited in an interest-bearing account by the borough, with any interest accrued to be refunded to the developer upon refund of the bond.

B. Re-Conveyance Agreement. The developer may convey to the borough a lot or lots, the value of which is equal to, or greater than, 120 percent of the estimated costs of improvements. The property to be conveyed must be marketable property adjacent to both an improved public street and installed public utilities or DEC-approved utilities. The conveyance shall be accompanied by a policy of title insurance showing title in the borough, free and clear of liens and encumbrances, naming the borough as the insured and a re-conveyance agreement containing the terms of

re-conveyance of the lots to the developer after completion of the improvements. The borough assessor shall determine the value of the property. All submittals must be approved as to form by the borough attorney. The developer shall pay all legal review and document preparation costs, as well as title report, recording fees and any other fees associated with a re-conveyance agreement; provided, that work performed by borough staff is paid by the administrative fee established in this section. Re-conveyance will occur after the borough certifies that all improvements have been satisfactorily completed within the required time period, or any extensions thereto.

#### C. Maintenance Bond.

1. Upon conditional acceptance of the improvements by the borough, the developer shall furnish and file with the borough a corporate surety or cash bond in an amount equal to five percent of the cost of improvements for payments of any reconstruction or repair of improvements that may be necessary within one year from the conditional acceptance.

2. Method of Compliance. When in the judgment of the borough, the improvements are in need of reconstruction, repair or maintenance during the first year after date of installation, the borough shall notify the developer, in writing by certified mail, stating the area of discrepancy and the recommended remedial action. Within 20 days of receipt of a letter stating the need for repair or maintenance, the developer shall furnish to the borough, in writing, a schedule for completion of the necessary repair or maintenance.

D. Default. In the event the subdivider defaults or fails or neglects to satisfactorily install the required improvements within the agreed-upon time or to repair and maintain the required improvements during the warranty period, the borough assembly may declare the bond or other guarantee forfeited, and the borough may install or contract to have installed the required improvements or perform or contract to have performed the required maintenance, using the proceeds from the collection of the bond, deposit or other guarantee to defray the expense thereof.

E. Acceptance and Release of Surety. The release of financial guarantees shall utilize the following procedures:

1. Conditional acceptance of the whole or a part of the required improvements shall be given after installation and written approval thereof from the manager. The bond or other guarantee may then be released in whole or in part. Partial releases shall be made in installments no smaller than 25 percent of the amount originally posted. The final 10 percent or such other amount as may be remaining upon completion of the improvements shall be retained by the borough until a maintenance bond is posted in accordance with subsection (C) of this section.

2. If the developer has not completed installation of the required improvements within one year of the date of final plat approval, the developer shall forfeit to the borough all bonds, cash or property provided to secure installation of the improvements. Upon such forfeiture, the borough shall proceed to install, or contract to install, the required improvements using the proceeds from the collection of the bond or other guarantee to defray the expense thereof.

#### **18.100.135 Amended plats, altered plats, vacations or otherwise changed plats.**

Any applicable requirements under either the abbreviated plat procedures of this title or the preliminary and final plat procedures of this title shall apply.

**This page of the Haines Borough Code is current through Ordinance 11-07-272, passed August 24, 2011.**

Disclaimer: The Borough Clerk's Office has the official version of the Haines Borough Code. Users should contact the Borough Clerk's Office for ordinances passed subsequent to the ordinance cited above.

Borough Website: <http://www.hainesborough.us>  
(<http://www.hainesborough.us>)  
Borough Telephone: (907) 766-2231  
Code Publishing Company  
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ENGINEERS, INC.

December 21, 2011

PND 112048.03

Mr. Brian Lemcke  
Haines Borough  
P.O. Box 1209  
Haines, Alaska 99827

Re: Port Chilkoot Dock Improvements – Phase 2  
65% Design Review Submittal

Dear Mr. Lemcke:

Enclosed please find three sets of the 65% design review submittal for the Port Chilkoot Dock Improvements Phase 2 project for your review and comment. Please note that we received your takeoff of existing stockpiled 30" diameter galvanized steel piles and plan to incorporate as much of that material as possible into our design. Also, please note the following items which will require coordination prior to final design completion:

- **6" D.I.P. Water Line:** The condition of the existing 6" D.I.P. water line remains unknown. Our design will proceed assuming that the line will be replaced unless otherwise directed.
- **Gangway Winch:** Unless otherwise directed, we plan to specify a replacement winch on a new steel platform. New padeyes will be designed to match those of the original design plus those which have been subsequently added. Please advise if you would like the winch to be manual or electric. Other optional items could include a replacement winch access catwalk and gangway lifting rigging. Please advise.

The U.S. Army Corps of Engineers has conducted a General Permit Agency Coordination. The comment period closed on Dec. 16, 2011. We anticipate hearing from them in the next several weeks. The design phase remains on schedule, see attached. Also enclosed is a copy of the cost estimate at 65% design completion for your review.

If you need additional information or have questions feel free to contact me.

Sincerely,  
PND Engineers, Inc. | Juneau Office

Shane Young, P.E.  
Senior Engineer

DS

Enclosures: Project Schedule, Cost Estimate



**HAINES BOROUGH  
PORT CHILKOOT DOCK TRESTLE, GANGWAY & MAIN DOCK IMPROVEMENTS  
PRELIMINARY BUDGET INFORMATION**

Prepared by: PND Engineers, Inc.  
December 21, 2011



**PHASE 2: REPLACE TRESTLE & GANGWAY**

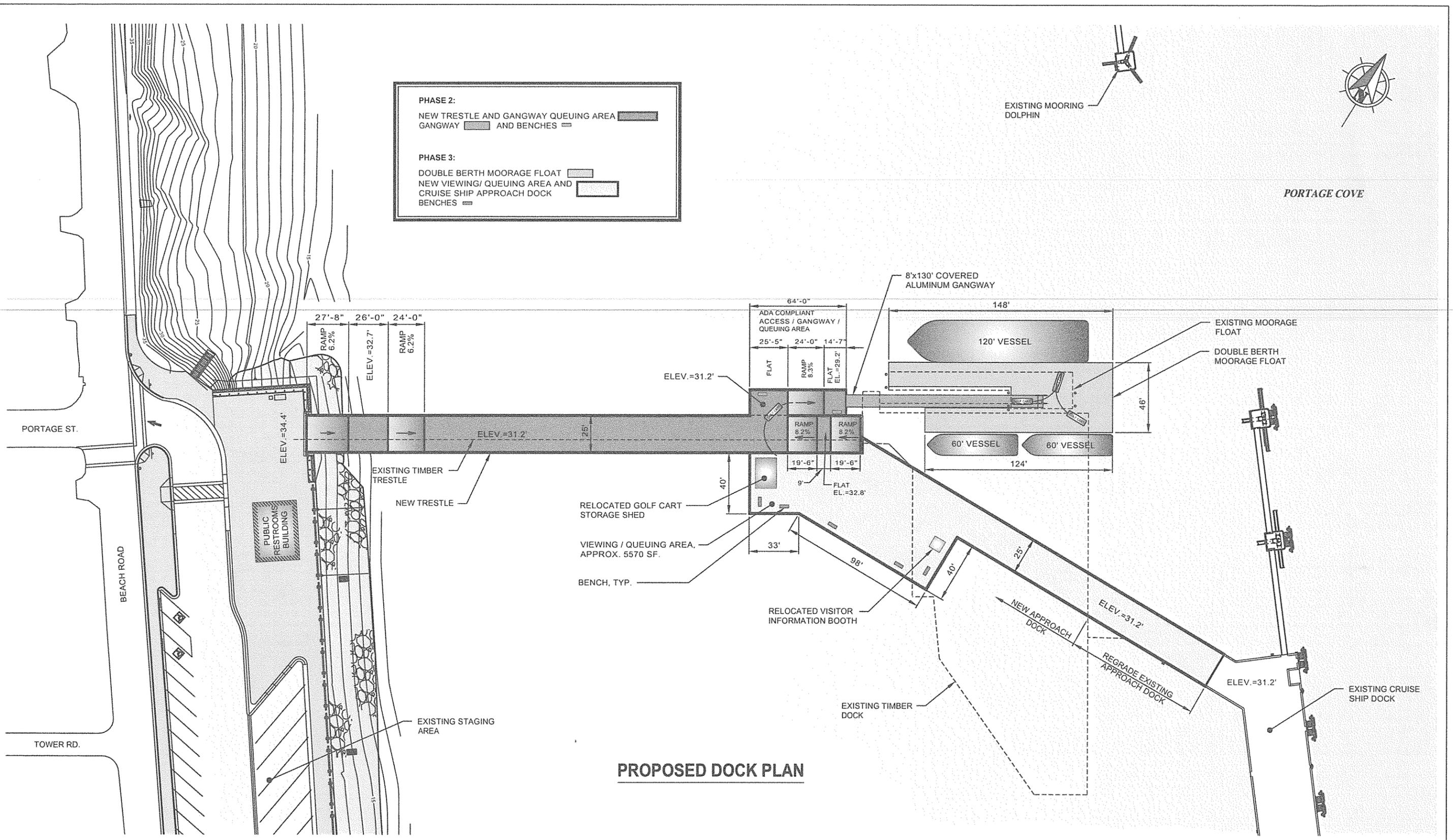
Item No.	Description	Units	Quantity	Unit Cost	Total
1505.1	Mobilization	LS	All Req'd	10%	\$246,375
2060.1	Demolish Existing Trestle	LS	All Req'd	\$175,000	\$175,000
2601.1	6 Inch Water line	LF	350	\$75	\$26,250
2727.1	Trestle and Gangway Queuing Area	SF	10,500	\$175	\$1,837,500
2727.2	Add. Alt A - Port Security Gate	LS	All Req'd	\$20,000	\$20,000
2894.1	Covered Aluminum Gangway, 8' x 130'	LS	All Req'd	\$200,000	\$200,000
2895.1	Gangway Landing and Floatation Improvements	LS	All Req'd	\$50,000	\$50,000
2896.1	Float Pile Modifications	LS	All Req'd	\$30,000	\$30,000
3304.1	Concrete Trestle Abutment	LS	All Req'd	\$40,000	\$40,000
16000.1	Add Alt B - Light Poles, 50' O.C.	EA	12	\$5,000	\$60,000
16000.2	Add. Alt. C - Electrical Power to Float	LS	All Req'd	\$25,000	\$25,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,710,125</b>
<b>CONTINGENCY (10%)</b>					<b>\$271,013</b>
<b>DESIGN, INSPECTION, CONSTRUCTION ADMINISTRATION (15%)</b>					<b>\$426,845</b>
<b>GEOTECHNICAL INVESTIGATION &amp; SURVEY</b>					<b>\$75,000</b>
<b>PERMITTING</b>					<b>\$15,000</b>
<b>RECOMMENDED PROJECT BUDGET (PH 2)</b>					<b>\$3,497,982</b>

**PHASE 2:**  
 NEW TRESTLE AND GANGWAY QUEUING AREA  
 GANGWAY AND BENCHES

**PHASE 3:**  
 DOUBLE BERTH MOORAGE FLOAT  
 NEW VIEWING/ QUEUING AREA AND  
 CRUISE SHIP APPROACH DOCK  
 BENCHES



PORTAGE COVE



**PROPOSED DOCK PLAN**

**REVISIONS**

REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.



9360 Glacier Highway Ste 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pndengineers.com

DESIGN: SRY CHECKED: CRS  
 DRAWN: LRG APPROVED: CRS  
 SCALE: SCALE IN FEET  
 0 30 60 FT.

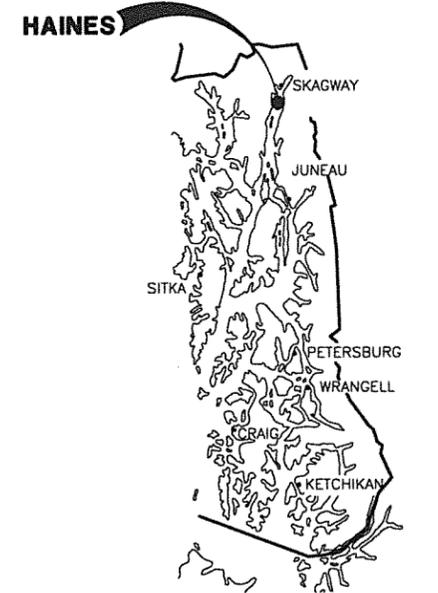
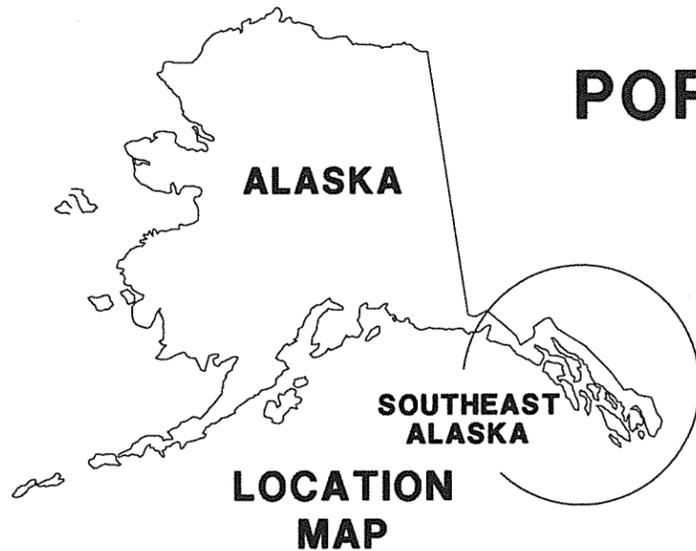
DATE: 9/1/11

**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 TRESTLE REPLACEMENT**

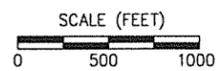
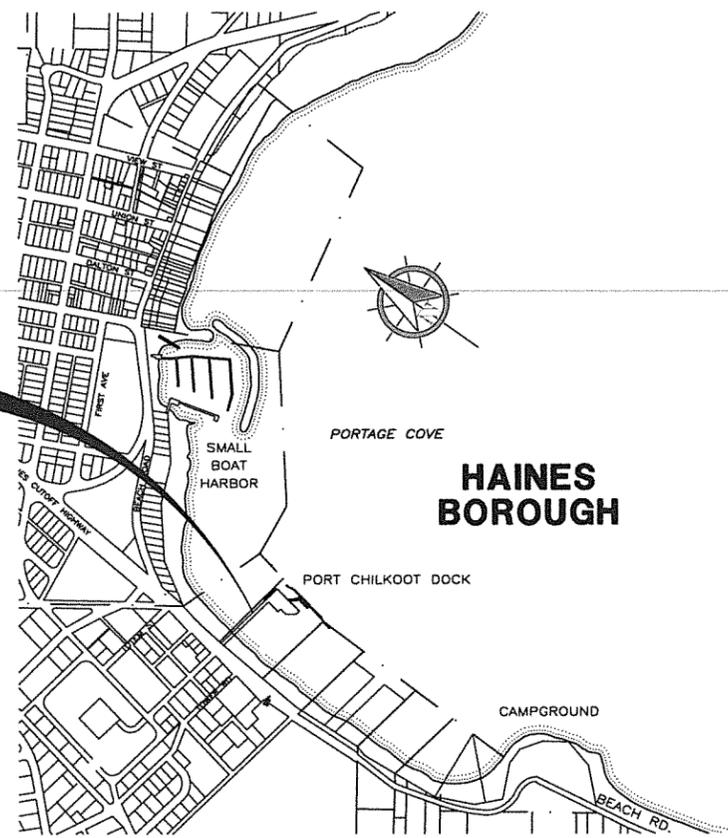
SHEET TITLE:  
**PORT CHILKOOT DOCK  
 DEVELOPMENT PLAN - PHASE II**  
 PND PROJECT NO. 112048.02 DWG. FILE:

**1**  
 SHEET  
 1 OF 1

# HAINES BOROUGH PORT CHILKOOT DOCK IMPROVEMENTS PHASE 2



**PROJECT LOCATION**



DRAWING INDEX		
SHEET NO.	DWG. NO.	TITLE
<b>GENERAL</b>		
1 OF 37	1.01	COVER SHEET, VICINITY MAP, AND DRAWING INDEX
2	1.02	GENERAL NOTES-CIVIL
3	1.03	GENERAL NOTES-STRUCTURAL
4	1.04	EXISTING CONDITIONS, SURVEY CONTROL & TEST HOLE LOCATIONS
5	1.05	TEST HOLE NOTES & DETAILS
6	1.06	TEST HOLE LOGS
7	1.07	TEST HOLE LOGS
8	1.08	TEST HOLE LOGS
9	1.09	TEST HOLE LOGS
10	1.10	TEST HOLE LOGS
11	1.11	TEST HOLE LOGS
12	1.12	OVERALL DEMOLITION PLAN
13	1.13	GANGWAY & GANGWAY LANDING DEMOLITION PLAN
14	1.14	ABUTMENT DEMOLITION PLAN
15	1.15	ABUTMENT DEMOLITION SECTIONS
16	1.16	SITE PLAN
17	1.17	ABUTMENT PLANS
18	1.18	ABUTMENT SECTION
19	2.01	TRESTLE FOUNDATION & FRAMING PLANS
20	2.02	RAMP ELEVATION AT TRESTLE ABUTMENT
21	2.03	GANGWAY QUEUING AREA FOUNDATION & FRAMING PLANS
22	2.04	TRESTLE & QUEUING AREA TYPICAL SECTIONS
23	3.01	PILE CAP DETAILS
24	3.02	FRAMING DETAILS
25	3.03	PILE SCHEDULE & DETAILS
26	3.04	HANDRAIL, BULLRAIL AND LIGHT POLE BRACKET DETAILS
27	3.05	GANGWAY GENERAL PLAN & ELEVATIONS
28	3.06	GANGWAY FRAMING PLAN & ELEVATION
29	3.07	UPPER GANGWAY STRUTURAL CONNECTION DETAILS
30	3.08	GANGWAY TYPICAL SECTION & DETAILS
31	3.09	GANGWAY DETAILS
32	3.10	GANGWAY DETAILS
33	4.01	MOORAGE FLOAT PLAN & SECTIONS
34	4.02	MOORAGE FLOAT UPGRADE DETAILS
35	4.03	MOORAGE FLOAT UPGRADE DETAILS
36	5.01	WATER LINE PLAN, PROFILE AND DETAILS
37	E1	LIGHTING PLAN AND DETAILS
	E2	ELECTRICAL DRAWINGS

PROJECT SCHEDULE	
DESCRIPTION	SCHEDULE
1. IN-WATER WORK RESTRICTIONS: NO WORK ACTIVITY ALLOWED BELOW THE TIDAL ELEVATION.	APRIL 1 - JUNE 15, ANY YEAR
2. EARLIEST ALLOWED FIELD START	SEPTEMBER 24, 2012
3. SUBSTANTIAL COMPLETION	MAY 3, 2013
4. FINAL COMPLETION OF ALL WORK UNDER THIS CONTRACT	MAY 31, 2013

NOTE: COORDINATE ALL WORK AROUND CRUISE SHIP SCHEDULE PER SECTION 01010.

TIDAL INFORMATION	
HIGH TIDE LINE (HTL)	21.2
MEAN HIGH WATER (MHW)	15.8
MEAN LOWER LOW WATER (MLLW)	0.0'
EXTREME LOW WATER (ELW) ESTIMATED	-5.0'

**65% DESIGN REVIEW SUBMITTAL**

PND ENGINEERS, INC. (PND) IS NOT RESPONSIBLE FOR SAFETY PROGRAMS, METHODS OR PROCEDURES OF OPERATION, OR THE CONSTRUCTION OF THE DESIGN SHOWN ON THESE DRAWINGS. DRAWINGS ARE FOR THE USE OF THIS PROJECT ONLY AND ARE NOT INTENDED FOR REUSE WITHOUT WRITTEN APPROVAL FROM PND. DRAWINGS ARE ALSO NOT TO BE USED IN ANY MANNER THAT WOULD CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO PND.

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

P | N | D

ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801

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www.pndengineers.com

DESIGN:    SRY    CHECKED:    CRS    SCALE: AS SHOWN  
 DRAWN:    SRY    APPROVED:    CRS

DATE:    12/21/11

**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**COVER SHEET, VICINITY MAP  
AND DRAWING INDEX**

PND PROJECT NO.: 112048.03    DWG. FILE: 1.01.DWG

**1.01**  
SHEET  
1 OF X

# ABBREVIATIONS

<b>A</b>		<b>H</b>		<b>R</b>	
⊙	AT	H&T	HUB & TACK	RAD	RADIUS
AC	ASBESTOS CEMENT PIPE	HD	HEAVY DUTY	RE	RIM ELEVATION
ACP	ASPHALT CONCRETE PAVEMENT	HDC	HOT-DIPPED GALVANIZED	REF	REFERENCE
ADJ	ADJUSTABLE	HDPE	HIGH DENSITY POLYETHYLENE	REINF	REINFORCEMENT
APF	ASSOCIATED PIPE AND FITTING CORP.	HORIZ	HORIZONTAL	REQD	REQUIRED
APPROX.	APPROXIMATE	HSE	HOUSE	RET	RETAINING
ATS	ALASKA TIDELANDS SURVEY	HT	HEIGHT	RO	ROUGH OPENING
AV	AIR RELEASE VALVE	HWY.	HIGHWAY	ROW	RIGHT OF WAY
<b>B</b>		<b>I</b>		<b>S</b>	
BFV	BUTTERFLY VALVE	ID	INSIDE DIAMETER	S	SOUTH
BLDG	BUILDING	IE	INVERT ELEVATION	SCHED	SCHEDULE
BOP	BEGINNING OF PROJECT	IN	INCH	SD	STORM DRAIN
BTM,BOT	BOTTOM	IP	IRON PIPE	SDI	STORM DRAIN INLET STRUCTURE
<b>C</b>		INCL	INCLUDE (D) (ING)	SDO	STORM DRAIN OUTLET STRUCTURE
C&G	CURB & GUTTER	INSUL	INSULATE (D) (ION)	SDR	STANDARD DIMENSION RATIO
CB	CATCH BASIN	INV	INVERT	SF	SQUARE FOOT
CI	CAST IRON	<b>J</b>		SHLDR	SHOULDER
CIP	CAST-IN-PLACE	JB	JUNCTION BOX	SI	STREET INTERSECTION
CJ	CONTROL JOINT	<b>L</b>		SPEC	SPECIFICATION (S)
⊙	CENTER LINE	LBS	POUNDS	SQ	SQUARE
CLR	CLEAR	LF	LINEAR FEET	SSC	SANITARY SEWER CONNECTION
CMP	CORRUGATED METAL PIPE	LL	LIVE LOAD	SS	STAINLESS STEEL, SANITARY SEWER
CO	CLEANOUT	LOC	LOCATION	SDMH	STORM DRAIN MANHOLE
C.O.E.	CORPS OF ENGINEERS	LS	LUMP SUM	SSMH	SANITARY SEWER MANHOLE
CONC.	CONCRETE	<b>M</b>		STA	STATION
CP	COMPLETE PENETRATION	MAX	MAXIMUM	STD	STANDARD
CPP	CORRUGATED POLYETHYLENE PIPE	MECH	MECHANICAL	STL	STEEL
COR	CORNER	MFR	MANUFACTURE (R)	STRG	STRONG
CSC	COUNTERSINK	MH	MANHOLE	SW	SIDEWALK
CTR	CENTER	MJ	MECHANICAL JOINT	SWR	SEWER
CY	CUBIC YARD	MI	MALLEABLE IRON	SY	SQUARE YARD
<b>D</b>		MIN	MINIMUM	SYM	SYMMETRICAL
DCP	DISSIMILAR PIPE COUPLING	MLLW	MEAN LOWER LOW WATER	<b>T</b>	
D/DIA	DIAMETER	MSF	1000 SQUARE FEET	T&B	TOP AND BOTTOM
DBL	DOUBLE	MSE	MECHANICALLY STABILIZED EARTH	T&G	TONGUE AND GROOVE
DL	DEAD LOAD	MTL	MATERIAL (S)	TBC	TOP BACK OF CURB
DIP	DUCTILE IRON PIPE	<b>N</b>		TBD	TO BE DETERMINED
DIM	DIMENSION	N	NORTH	TBM	TEMPORARY BENCH MARK
DN	DOWN	NFS	NON FROST SUSCEPTIBLE	TD	TRENCH DRAIN
DTL	DETAIL	NIC	NOT IN CONTRACT	TEL	TELEPHONE
<b>E</b>		NO	NUMBER	TEMP	TEMPERATURE, TEMPORARY
E	EAST	NTS	NOT TO SCALE	TH	TEST HOLE
EA.	EACH	<b>O</b>		THK	THICK
EJ	EXPANSION JOINT	OBD	OVERBURDEN	TRANS	TRANSVERSE
EL/ELEV	ELEVATION	OC	ON CENTER	TV	TELEVISION
EOP	END OF PROJECT	OD	OUTSIDE DIAMETER	TYP	TYPICAL
EQ	EQUAL	OC	ORIGINAL GROUND	<b>U</b>	
EQUIP	EQUIPMENT	OHE	OVERHEAD ELECTRICAL	UBC	UNIFORM BUILDING CODE
EST	ESTIMATE	OWS	OIL-WATER SEPARATOR	UE	UNDERGROUND ELECTRIC
EXC	EXCAVATE	OPP	OPPOSITE	UMC	UNIFORM MECHANICAL CODE
EXIST	EXISTING	<b>P</b>		UHMW	ULTRA HIGH MOLECULAR WEIGHT
<b>F</b>		P	PIPE	UON	UNLESS OTHERWISE NOTED
FC	FACE OF CURB	PC	POINT OF CURVATURE, PIECE	UPC	UNIFORM PLUMBING CODE
FD	FLOOR DRAIN	PCC	PRECAST CONCRETE	<b>V</b>	
FF	FINISHED FLOOR	PED	PEDESTAL	VB	VALVE BOX
FH	FIRE HYDRANT, FLAT HEAD	PER	PERIMETER	VERT	VERTICAL
FIN	FINISH (ED)	PERF	PERFORATE (D)	<b>W</b>	
FM	FORCE MAIN SEWER	PI	POINT OF INTERSECTION	W	WEST
FND	FOUNDATION	PLWD	PLYWOOD	W/	WITH
FT	FOOT	PL	PROPERTY LINE, PLATE	WD	WOOD
FTG	FOOTING	PROJ	PROJECT	WELDMT	WELDMENT
FL	FLOWLINE	PRV	PRESSURE REDUCING VALVE	WL	WATERLINE
<b>G</b>		PSI	POUND PER SQUARE INCH	WV	WATER VALVE
GAL	GALLON	PT	POINT, PRESSURE TREATED,	W/O	WITHOUT
GALV	GALVANIZED	PVC	POINT OF TANGENCY	<b>X</b>	
GB	GRADE BREAK	PT	POINT OF TANGENCY	XFMR	TRANSFORMER
GPM	GALLONS PER MINUTE	Q	QUANTITY	<PT	ANGLE POINT
GRD	GROUND	<b>Q</b>			
GV	GATE VALVE	QTY	QUANTITY		

# GENERAL NOTES

1. CONTRACTOR SHALL INSTALL TEMPORARY DEVICES CONSISTING OF BUT NOT LIMITED TO STRAW BALES, FILTER FABRIC FENCES, SETTLING POND, ETC., TO PROHIBIT SILT LADEN DEWATERING EFFLUENT AND OTHER CONSTRUCTION RUNOFF FROM ENTERING ADJACENT STREAMS OR WATER BODIES. CONTRACTOR IS RESPONSIBLE FOR THE QUALITY OF THE DEWATERING EFFLUENT AND OTHER CONSTRUCTION RUNOFF THAT ENTERS ADJACENT STREAMS OR WATER BODIES AND IS, THEREFORE, RESPONSIBLE FOR VIOLATIONS AND PENALTIES FROM HIS OPERATIONS.

2. PROPERTY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS PRE-CONSTRUCTION CONDITION OR BETTER AT NO ADDITIONAL COST.

3. EXISTING UTILITIES & DRAIN PIPE LOCATIONS ARE DERIVED FROM FIELD LOCATES. ACTUAL LOCATIONS MAY VARY FROM THOSE SHOWN. CALL FOR ALL UTILITY LOCATES BEFORE YOU DIG.

WATER AND WASTE MATERIAL (907) 766-2237 OR 766-2200  
 POWER AND LIGHT (AP&T) (907) 766-2331  
 CATV (907) 766-2137  
 TELEPHONE (GTE) (907) 766-2311

4. GRADING AND ALIGNMENT OF STRUCTURES & FINAL SURFACING ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER TO FIT SITE CONDITIONS. GRADE ALL IMPROVEMENTS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES.

5. PROPERTY AND MEANDER LINES ON THESE DRAWINGS ARE SHOWN APPROXIMATE.

6. THE CONTRACTOR SHALL NOTIFY THE HAINES BOROUGH WATER AND SEWER DEPARTMENT AT 766-2200 OF PROPOSED WATER OR SEWER SERVICE INTERRUPTION AT LEAST 48 HOURS PRIOR TO SHUTDOWN.

## 65% DESIGN REVIEW SUBMITTAL

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

**P | N | D**  
**ENGINEERS, INC.**

9360 Glacier Highway Ste 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pndengineers.com

DESIGN: SRY CHECKED: CRS SCALE: NTS  
 DRAWN: SRY APPROVED: CRS

**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

SHEET TITLE: **GENERAL NOTES - CIVIL**

DATE: 12/21/11

PND PROJECT NO.: 112048.03 DWG. FILE: 1.02.DWG

**1.02**  
 SHEET 2 OF X

# GENERAL NOTES - STRUCTURAL

## DESIGN PARAMETERS

THE FOLLOWING DESIGN CODES AND STANDARDS ARE APPLICABLE AND CONSIDERED PART OF THIS SPECIFICATION: AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AWS STRUCTURAL WELDING CODE D1.1, ACI 318 AND 301, AND ASHTO STANDARD SPECIFICATION FOR HIGHWAY BRIDGES.

DOCK LIVE LOAD: ASSHTO HS15 TRUCK  
250 PSF UNIFORM LOAD  
MOORING LOAD: 13.5 KIPS  
INSTRUCTIONAL  
PLATFORM LIVE LOAD: 85 PSF UNIFORM LOAD  
CATWALK LIVE LOAD: 85 PSF UNIFORM LOAD

## MATERIALS AND CONSTRUCTION

### STRUCTURAL STEEL

ALL PILE CAP STEEL SHALL BE ASTM A572, GRADE 50. WIDEFLANGE BEAMS TO BE ASTM A992, GRADE 50. HSS STEEL TUBE TO BE ASTM A500, GRADE B. HANDRAIL PIPE TO BE ASTM A53, GRADE B. OTHER MISCELLANEOUS PLATE AND SHAPES SHALL BE ASTM A36.

### STEEL PIPE PILES

ALL PIPE PILES SHALL BE ASTM A252, GRADE 3, WITH CARBON EQUIVALENCY NOT TO EXCEED 0.45. PIPE PILES SHALL BE GALVANIZED FULL LENGTH.

ALL PILES SHALL BE SEAMLESS OR STRAIGHT SEAM. SPIRAL WELD PIPE WILL BE PERMITTED ONLY UPON ENGINEER'S SPECIFIC APPROVAL.

### BOLTS AND OTHER HARDWARE

ALL BOLTS SHALL BE HOT-DIPPED GALVANIZED ASTM A325 OR A307 AS NOTED ON THE PLANS WITH HEAVY HEX NUTS, OR AS OTHERWISE NOTED ON THE DRAWINGS. ALL OTHER SCREWS, NUTS, WASHERS, NAILS AND SPIKES SHALL MEET REQUIREMENTS IN THE SPECIFICATIONS AND SHALL BE HOT-DIPPED GALVANIZED.

### STEEL WELDING

WELDING SHALL CONFORM TO CURRENT AMERICAN WELDING SOCIETY AWS D1.1 CODE. ALL WELDERS SHALL BE QUALIFIED PER AWS FOR THE TYPE OF WELDING ANTICIPATED. WELDS WILL BE SPOT TESTED BY THE ENGINEER. WELDS THAT FAIL TESTING SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, WHICH WILL INCLUDE ALL COSTS FOR RETESTING.

WELDING THROUGH COATINGS WILL NOT BE PERMITTED. COATING WITHIN ONE INCH OF THE WELD SHALL BE REMOVED AND REPAIRED AFTER WELDING, PER COATING REPAIR SPECIFICATIONS.

### GALVANIZING

ALL STRUCTURAL STEEL, PILES, WELDMENTS, BOLTS, MISCELLANEOUS PLATE AND SHAPES AND ALL OTHER MISCELLANEOUS METAL HARDWARE SHALL BE HOT-DIP GALVANIZED, AFTER FABRICATION, PER ASTM A123 OR A153 AS APPROPRIATE, UNLESS OTHERWISE NOTED. ALL HOLES REQUIRED FOR GALVANIZING SHALL BE COMPLETELY REPAIRED PER AWS PROCEDURES. GALVANIZING DAMAGED FROM SHIPPING, HANDLING OR OTHER MEANS SHALL BE REPAIRED PER COATING REPAIR SPECIFICATIONS.

### SPRAY METALIZING

SPRAY METALIZED STEEL SHALL BE SPRAY METALIZED WITH ALUMINUM OR ZINC PER THE STEEL STRUCTURES PAINTING COUNCIL (SSPC) GUIDE NO. 23. MINIMUM DRY COATING THICKNESS OF 10 MILS IS REQUIRED. SPRAY METALIZING DAMAGED FROM SHIPPING, HANDLING OR OTHER MEANS SHALL BE REPAIRED PER COATING REPAIR SPECIFICATIONS.

### COATING REPAIR

GALVANIZED OR SPRAY METALIZED COATINGS DAMAGED OR REMOVED DUE TO FABRICATION, SHIPPING, HANDLING OR WELDING SHALL BE REPAIRED BY FLAME SPRAY METALIZING METHODS IN ACCORDANCE WITH SSPC GUIDE NO. 23 PROVIDING A 10 MIL MINIMUM DFT OR BY USING THE FOLLOWING HOT-APPLIED REPAIR STICK METHOD:

- REPAIR STICKS SHALL BE ZINC-CADMIUM ALLOYS (MELTING POINT 518°-527°F) SUCH AS REV-GALV, OR ZINC-TIN-LEAD ALLOYS (MELTING POINT 446°-500°F) SUCH AS "GALV-WELD", "ZILT" AND "GALV-OVER". THE ZINC-TIN-LEAD ALLOYS SHALL COMPLY WITH U.S. FEDERAL SPECIFICATION O-G-93 AND CONTAIN FLUXING AGENTS.
- REMOVE WELDING SLAG BY CHIPPING HAMMER AND CLEAN WELD OR DAMAGED AREA BY VIGOROUS WIRE BRUSHING.
- PREHEAT THE REGION TO BE REPAIRED BY MEANS OF AN OXYACETYLENE TORCH OR OTHER CONVENIENT METHOD TO BETWEEN 600°F AND 750°F. THE ALLOYS DO NOT SPREAD WELL AT TEMPERATURES BELOW 600°F AND AS TEMPERATURES RISE ABOVE 600°F, INCREASING AMOUNTS OF DROSS FORM.
- WIRE BRUSH SURFACE AGAIN.
- APPLY COATING BY RUBBING BAR OF THE ALLOY OVER THE HEATED SURFACE WHILE IT IS HOT ENOUGH TO MELT THE ALLOY.
- SPREAD THE MOLTEN ALLOY BY BRISKLY WIRE BRUSHING OR RUBBING WITH A FLAT EDGE STRIP OF STEEL OR PALETTE KNIFE.
- REMOVE FLUX RESIDUES BY WIPING WITH A DAMP CLOTH OR RINSING WITH WATER.
- BRUSH APPLY TWO COATS OF ZINC RICH PAINT, ZRC OR EQUAL (COLD GALVANIZE REPAIR), MINIMUM 3 MILS PER COAT.

### BASE COURSE

ALL MATERIAL FOR BASE COURSE SHALL CONFORM TO D-1 MATERIAL FOR UNTREATED BASE AS SPECIFIED BY ALASKA DOT/PF STANDARD SPECIFICATIONS. BASE COURSE MATERIAL SHALL BE PLACED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

### EARTHWORK

REFER TO PROJECT SPECIFICATIONS FOR EARTHWORK REQUIREMENTS.

### PIPE PILE INSTALLATION

ALL BEARING PILES SHALL BE DRIVEN WITH AN IMPACT HAMMER. THE CONTRACTOR SHALL SUBMIT A PLAN FOR PILE DRIVING. THE PLAN SHALL CONTAIN HAMMER TYPE AND DRIVING METHODS FOR ALL PILE TYPES. THE CONTRACTOR SHALL NOT MOBILIZE HAMMERS AND RELATED EQUIPMENT PRIOR TO RECEIVING WRITTEN APPROVAL OF THE PLAN. THE CONTRACTOR SHOULD ALLOW ONE WEEK FOR REVIEW OF THE PLAN BY THE ENGINEER. ALL PILE DRIVING METHODS SHALL MEET THE REQUIREMENTS OF THE PERMITS ISSUED FOR THIS PROJECT.

ANY HAMMER THAT CAUSES DAMAGE TO THE PILES DURING DRIVING OPERATIONS SHALL BE SUBSTITUTED WITH AN ACCEPTABLE ALTERNATE HAMMER AT NO ADDITIONAL COST TO THE OWNER. IMPACT HAMMER SHALL BE SUPPLIED WITH NEW CAPBLOCK CUSHIONS, WHICH SHALL BE CHANGED AT THE MANUFACTURER'S RECOMMENDED INTERVALS. THE CONTRACTOR'S DRIVING PLAN SHALL INCLUDE MANUFACTURER'S RECOMMENDATIONS AND INFORMATION HAMMER CUSHION.

PILES SHALL BE PLACED WITHIN 1% OF SPECIFIED VERTICAL ALIGNMENT AND WITHIN 1 INCH OF SPECIFIED LOCATION AT CUTOFF. DRIVING METHODS FOR BATTERED PILES SHALL UTILIZE A DRIVING TEMPLATE THAT SHALL REMAIN IN PLACE UNTIL THE PILE CAP HAS BEEN ATTACHED TO THE PILES AND/OR THE PILES HAVE BEEN RIGIDLY BRACED INTO POSITION. BATTER PILES WITH A 2V:1H SLOPE SHALL BE PLACED SO THEIR SLOPE VARIES BETWEEN 5 7/8 AND 6 3/8 INCHES HORIZONTAL TO ONE FOOT VERTICAL AND WITHIN 1 INCH OF LOCATION AT CUTOFF. PILES HITTING OBSTACLES, MISALIGNED PILES AND PILES THAT HAVE NOT ACHIEVED MINIMUM PENETRATION PRIOR TO REFUSAL SHALL BE EXTRACTED BY THE CONTRACTOR WITH AN ADEQUATELY SIZED VIBRATORY HAMMER AND REDRIVEN AT NO ADDITIONAL COST TO THE OWNER.

FENDER PILES SHALL BE DRIVEN WITH EITHER AN IMPACT HAMMER OR VIBRATORY HAMMER AS NEEDED TO OBTAIN THE REQUIRED PENETRATION OR REFUSAL. FENDER PILES SHALL BE PLACED VERTICAL AT THE LOCATION NOTED ON THE PLANS.

PILES SHALL BE FURNISHED, COMPLETE WITH PILE TIPS AS SHOWN ON THE PLANS, IN THE LENGTHS SPECIFIED ON THE PILE SCHEDULE. PILES SHALL BE DRIVEN FULL LENGTH TO CUTOFF ELEVATION UNLESS PILE REQUIRED BEARING CAPACITY OF 60 TONS OR BEDROCK REFUSAL IS OBTAINED. PILE CAPACITY WILL BE DETERMINED SOLELY BY THE ENGINEER. PROPOSED IMPACT HAMMER SHALL HAVE A MINIMUM RATED ENERGY OF APPROXIMATELY 40,000 FT-LBS.

ALL PILE INSTALLATION SHALL BE CONDUCTED WITH THE ENGINEER PRESENT. THE CONTRACTOR SHALL ASSIST THE ENGINEER IN MONITORING THE PILE DRIVING. THE CONTRACTOR SHALL MARK EACH PILE WITH ONE-FOOT INCREMENTS, WITH EVERY FIVE-FOOT INCREMENTS NUMBERED. THE MARKS SHALL BE VISIBLE FROM ALL SIDES OF THE PILE.

### PILE TIPS

SHALL BE BY VERSA PILE OR APPROVED EQUAL. PILE TIPS TO BE CONTINUOUSLY WELDED AROUND THE OUTSIDE ONTO PILES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND AWS D1.1.

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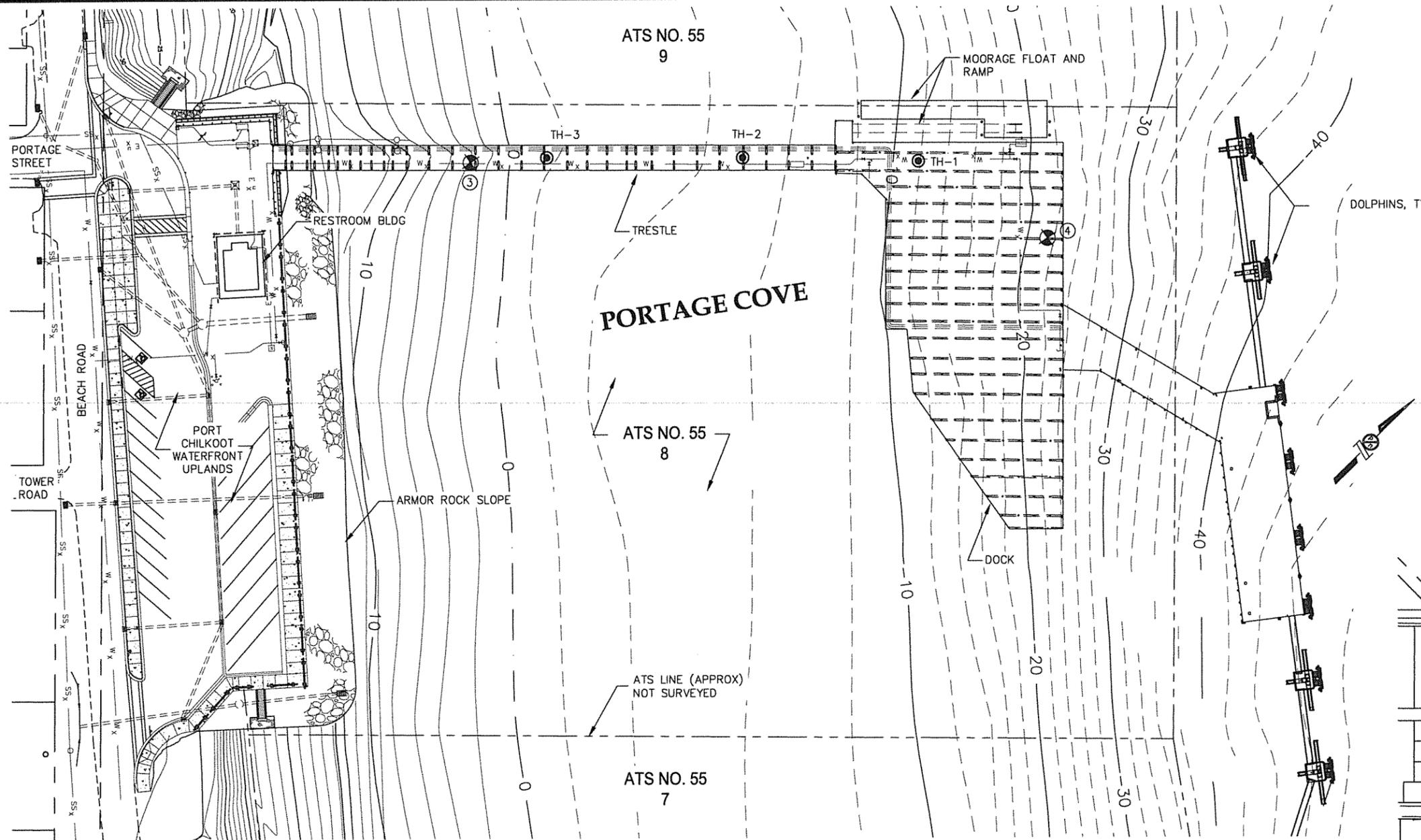
**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**GENERAL NOTES - STRUCTURAL**

PND PROJECT NO.: 112048.03 DWG. FILE: 1.02.DWG

**1.03**  
SHEET  
3 OF X

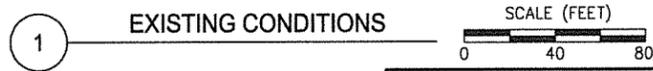
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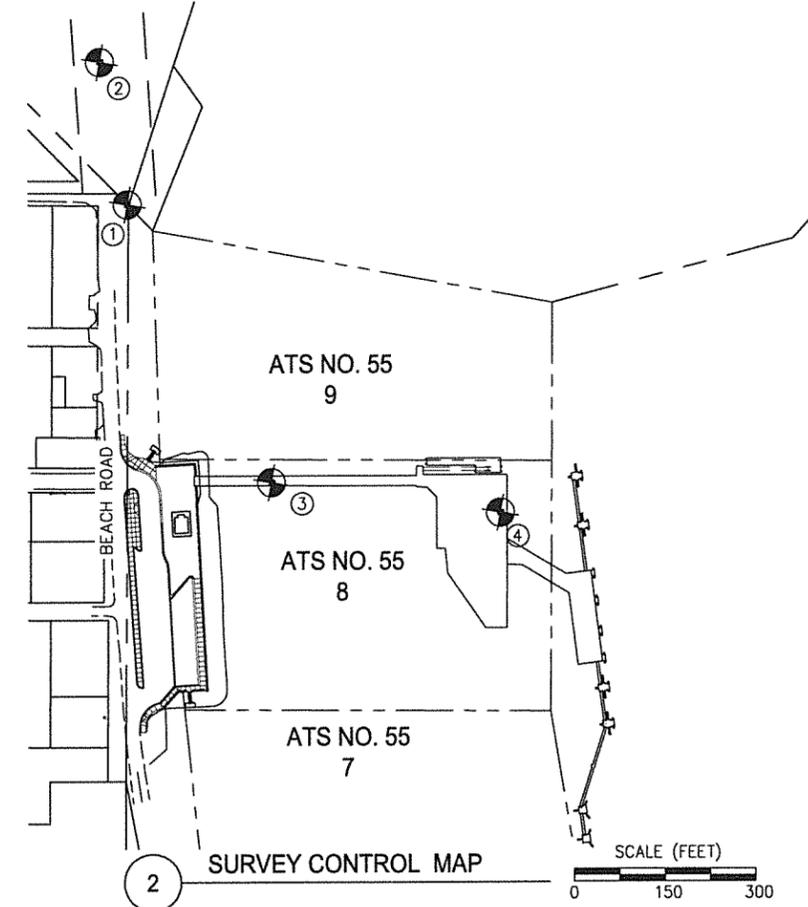
LEGEND	
---	PROPERTY LINE (NOT SURVEYED)
●	SURVEY CONTROL POINT
SS <sub>x</sub>	SANITARY SEWER
W <sub>x</sub>	WATER
C <sub>x</sub>	CABLE UTILITY LINE (UNDERGROUND)
E <sub>x</sub>	ELECTRIC UTILITY LINE (UNDERGROUND)
T <sub>x</sub>	TELEPHONE UTILITY LINE (UNDERGROUND)
SD <sub>x</sub>	STORM SEWER PIPE
○	SANITARY SEWER MANHOLE
⊗	WATER VALVE
☀	FIRE HYDRANT
☀	LIGHT POLE
⊠	STORM DRAIN INLET
●	TEST HOLE LOCATION

**NOTES**

1. SURVEY WAS CONDUCTED IN JULY 2011.
2. HORIZONTAL CONTROL IS ON A LOCAL SYSTEM.
3. VERTICAL DATUM FOR THIS SURVEY IS MLLW = 0.0'. THE BASIS OF VERTICAL CONTROL WAS ESTABLISHED HOLDING BENCHMARK "HH-1" AS 25.93 FEET. BENCHMARK "HH-1" IS A U.S.A.C.E. BRASS CAP LOCATED NEAR A WEATHER STATION ON THE NORTH SIDE SPIT OF HAINES HARBOR.
4. SEE U.S.A.C.E CONDITION SURVEY DRAWING TITLED "HAINES HARBOR CONDITION SURVEY, MAY 16, 2000."
5. UPLANDS INFORMATION IS SHOWN FROM DESIGN DOCUMENTS AND DOES NOT REPRESENT SURVEYED INFORMATION. SEE PND #092014 FOR ALL DESIGN DRAWINGS RELATED TO PORT CHILKOOT WATERFRONT PROJECT.
6. ALL SOIL SAMPLES VISUALLY CLASSIFIED IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, ASTM D 2488, STANDARD PRACTICE FOR DESCRIPTION AND IDENTIFICATION OF SOILS (VISUAL-MANUAL PROCEDURE).
7. DESCRIPTIONS OF THE SOILS WITHIN THESE TEST PITS APPLY ONLY AT THE SPECIFIC LOCATIONS AT THE TIME THE TEST PITS WERE EXCAVATED. THEY ARE NOT WARRANTED TO BE REPRESENTATIVE OF SUBSURFACE CONDITIONS AT OTHER LOCATIONS OR TIMES.



SURVEY CONTROL				
POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
①	16922.66	10678.81	38.77	USS 2716 MON IN SIDEWALK
②	17054.68	10479.89	50.48	ADOT&PF BRASS CAP IN ROAD
③	16773.23	11172.11	34.52	MAGNAIL IN TRESTLE DECK
④	17007.76	11470.76	34.11	MAGNAIL IN DOCK DECK



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**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**EXISTING CONDITIONS, SURVEY  
 CONTROL & TEST HOLE LOCATIONS**

DATE: 12/21/11

PND PROJECT NO.: 112048.03 DWG. FILE: 1.03.DWG

**1.04**  
 SHEET 4 OF X

## SOILS CLASSIFICATION, CONSISTENCY AND SYMBOLS

### CLASSIFICATION

Identification and classification of the soil is accomplished in general accordance with the ASTM version of the Unified Soil Classification System (USCS) as presented in ASTM Standard D 2487. The standard is a qualitative method of classifying soil into the following major divisions (1) coarse grained (2) fine-grained, and (3) highly organic soils. Classification is performed on the soils passing the 75 mm (3 inch) sieve and if possible the amount of oversize material (> 75 mm particles) is noted on the soil logs. This is not always possible for drilled test holes because the oversize particles are typically too large to be captured in the sampling equipment. Oversize materials greater than 300 mm (12 inches) are termed boulders, while materials between 75 mm and 300 mm are termed cobbles. Coarse grained soils are those having 50% or more of the non-oversize soil retained on the No. 200 sieve; if a greater percentage of the coarse grains is retained on the No. 4 sieve the coarse grained soil is classified as gravel, otherwise it is classified as sand. Fine grained soils are those having more than 50% of the non-oversize material passing the No. 200 sieve; these may be classified as silt or clay depending their Atterberg liquid and plastic limits or observations of field consistency. Refer to ASTM D 2487-93 for a complete discussion of the classification method.

### SOIL CONSISTENCY - CRITERIA

Soil consistency as defined below and determined by normal field and laboratory methods applies only to non-frozen material. For these materials, the influence of such factors as soil structure, i.e. fissure systems, shrinkage cracks, slickensides, etc., must be taken into consideration in making any correlation with the consistency values listed below. In permafrost zones, the consistency and strength of frozen soils may vary significantly and unexplainably with ice content, thermal regime and soil type.

#### Relative Density of Sands According to results of Standard Penetration Test

N*(Blows/ft)	Relative Density
Loose 0 - 10	0 - 40%
Medium Dense 10 - 30	40 - 70%
Dense 30 - 60	70 - 90%
Very Dense > 60	90 - 100%

#### Consistency of Clay in Terms of Unconfined Compressive Strength (tsf)

Very Soft	0.0 - 0.25
Soft	0.25 - 0.5
Stiff	0.5 - 1.0
Firm	1.0 - 2.0
Very Firm	2.0 - 4.0
Hard	> 4.0

\* Standard Penetration, "N": Blows per foot of a 140-pound hammer falling 30 inches on a 1.4" ID split-spoon sampler except where noted.

### SAMPLER TYPE SYMBOLS

St ..... 1.4" Split Spoon W/ 47# Hammer	Ts ..... Shelby Tube
Ss ..... 1.4" Split Spoon W/ 140# Hammer	Tm ..... Modified 2.5" O.D. Shelby Tube
Sl ..... 2.5" Split Spoon W/ 140# Hammer	Pb ..... Pitcher Barrel
Sm ..... 2.5" Split Spoon W/ 300# Hammer	Cs ..... Core Barrel W/ Single Tube
Sh ..... 2.5" Split Spoon W/ 340# Hammer	Cd ..... Core Barrel W/ Double Tube
Sp ..... 2.5" Split Spoon, Pushed	Bs ..... Bulk Sample
Hs ..... 1.4" Split Spoon Driven W/ Air Hammer	A ..... Auger Sample
Hi ..... 2.5" Split Spoon Driven W/ Air Hammer	G ..... Grab Sample
Sx ..... 2.0" Split Spoon Driven W/ 140# Hammer	
Sz ..... 1.4" Split Spoon Driven W/ 340# Hammer	

### NOTES

1. Split spoon sampler sizes presented above refer to the inside diameter of the sampler.

Depth (Feet)	Water Table	GRAPHIC SYMBOL	SOIL DESCRIPTION	SAMPLES			Penetration Blows per 6/Inch (per Foot)*	GRAPH	COMMENTS	Elevation (Feet)
				Number	Type	Location Recovery (%)				
0			0' - 0.30' A.C. PAVEMENT						Begin drilling 10/24/03 8:00 a.m.	24.43
2			POORLY-GRADED GRAVEL W/ SILT AND SAND Gray, Dry, Subangular, Medium Dense, GP-CM	1	Ss	30	6-6-5-4 (9)		2' to 3' - Hard, loud drilling 1-ft min. boulder encountered	22.43

### COLUMN DESCRIPTIONS

- 1 Depth ..... Depth (in feet) below the ground surface.
- 2 Water Level ..... Groundwater level recorded while drilling. Depths and times are recorded in comments column.
- 3 Graphic Log ..... Graphic depiction of materials encountered.
- 4 Soil Description ..... Description of materials encountered, including USCS soil descriptions.
- 5 Sample Number ..... Sample identification number.
- 6 Sample Type ..... Type of soil sample collected at depth interval depicted; symbols explained on Fig. B-01.
- 7 Sample Location ..... Location soil sample taken.
- 8 Sample Recovery ..... Percentage of sample recovered.
- 9 Sample Blows ..... Number of blows to advance driven sampler each 6-inch interval using sampler type specified with a 30-inch drop. Blows per foot given in parentheses.
- 10 Graphs ..... Graphic log depicting blow counts per foot with a specified split spoon, Pocket Penetration and Vane Shear tests depicted where taken on fine grained soils.
- 11 Comments ..... Comments or observations on drilling/sampling by driller or PND field personnel.
- 12 Elevation ..... Elevation (in feet) with respect to Mean Lower Low Water (MLLW) or other datum where specified.

### GENERAL NOTES

- Soil Classifications are base on the Unified Soil Classification System. Field descriptions may have been modified to reflect laboratory test results.
- Descriptions on these boring logs apply only at the specific locations at the time the borings were drilled. They are not warranted to be representative of subsurface conditions at other locations or times.
- Split spoon blow counts shown are uncorrected raw data. Various hammer sizes and split spoon sizes were used and have not been corrected to a Standard Penetration Test (SPT). Blow counts may vary substantially between SPT and these methods.

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**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

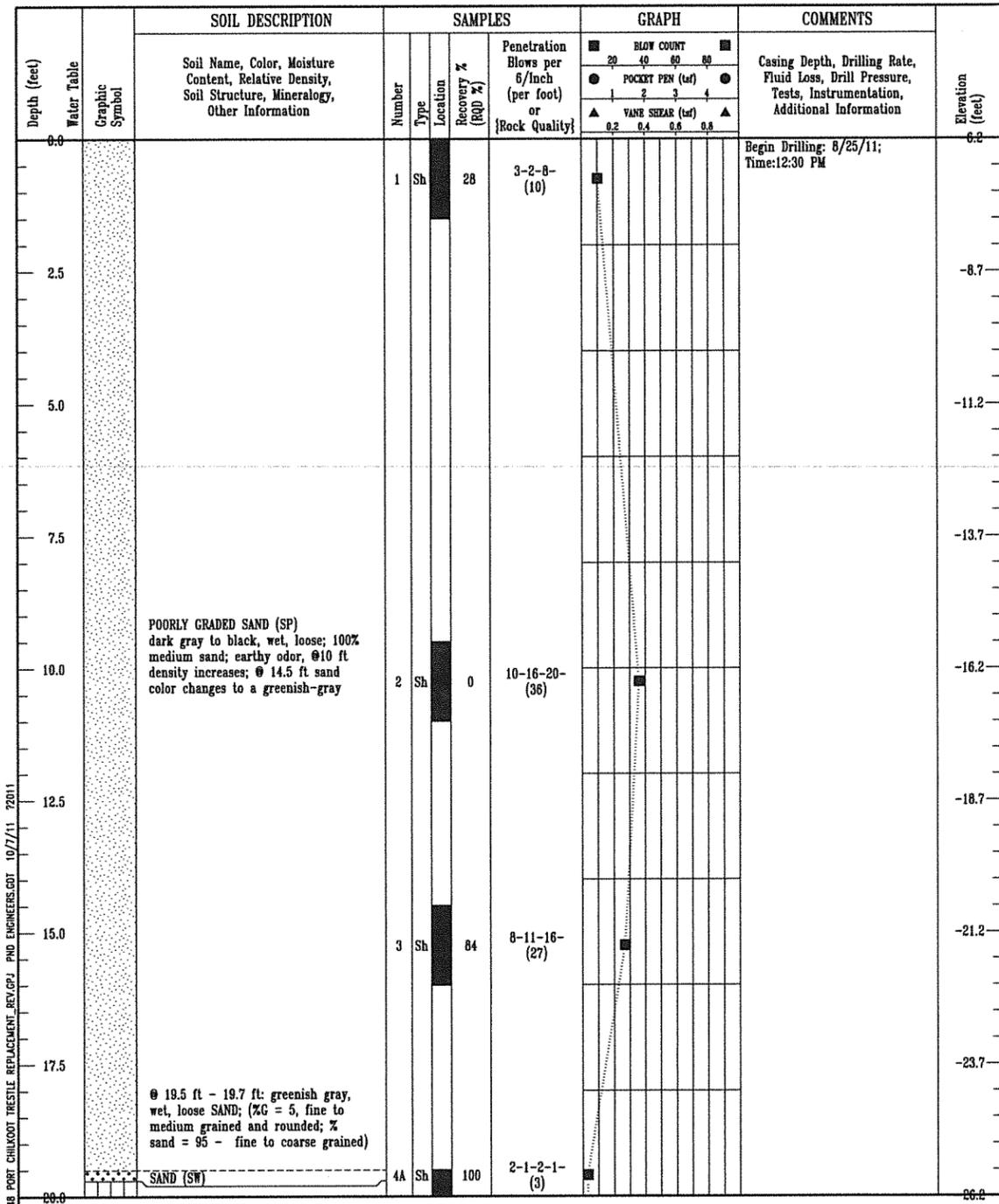
SHEET TITLE:

**TEST HOLE NOTES & DETAILS**

PND PROJECT NO.: 112048.03 DWG. FILE: 1.03.DWG

**1.05**

SHEET  
5 OF X



BOREHOLE DATES MANUAL 112048 PORT CHILKOOT TRESTLE REPLACEMENT\_REV.GPJ PND ENGINEERS.GDT 10/7/11 72011

POORLY GRADED SAND (SP)  
dark gray to black, wet, loose; 100% medium sand; earthy odor, @10 ft density increases; @ 14.5 ft sand color changes to a greenish-gray

@ 19.5 ft - 19.7 ft: greenish gray, wet, loose SAND; (%G = 5, fine to medium grained and rounded; % sand = 95 - fine to coarse grained)

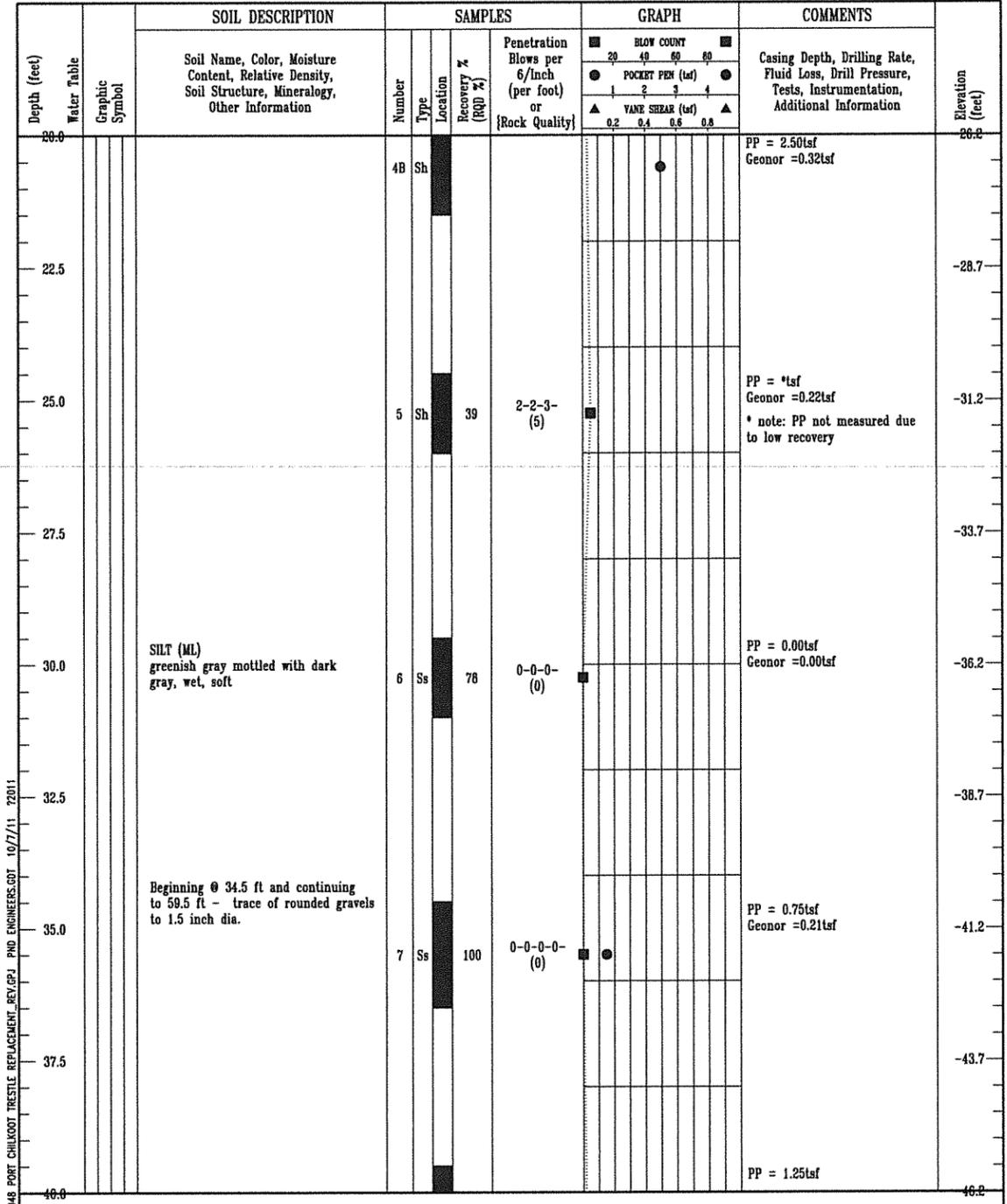
SAND (SW)

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PORT CHILKOOT TRESTLE REPLACEMENT  
Port Chilkoot  
Haines, Alaska

BOREHOLE 1

FIGURE B-3  
1 of 4



BOREHOLE DATES MANUAL 112048 PORT CHILKOOT TRESTLE REPLACEMENT\_REV.GPJ PND ENGINEERS.GDT 10/7/11 72011

SILT (ML)  
greenish gray mottled with dark gray, wet, soft

Beginning @ 34.5 ft and continuing to 59.5 ft - trace of rounded gravels to 1.5 inch dia.

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PORT CHILKOOT TRESTLE REPLACEMENT  
Port Chilkoot  
Haines, Alaska

BOREHOLE 1

FIGURE B-3  
2 of 4

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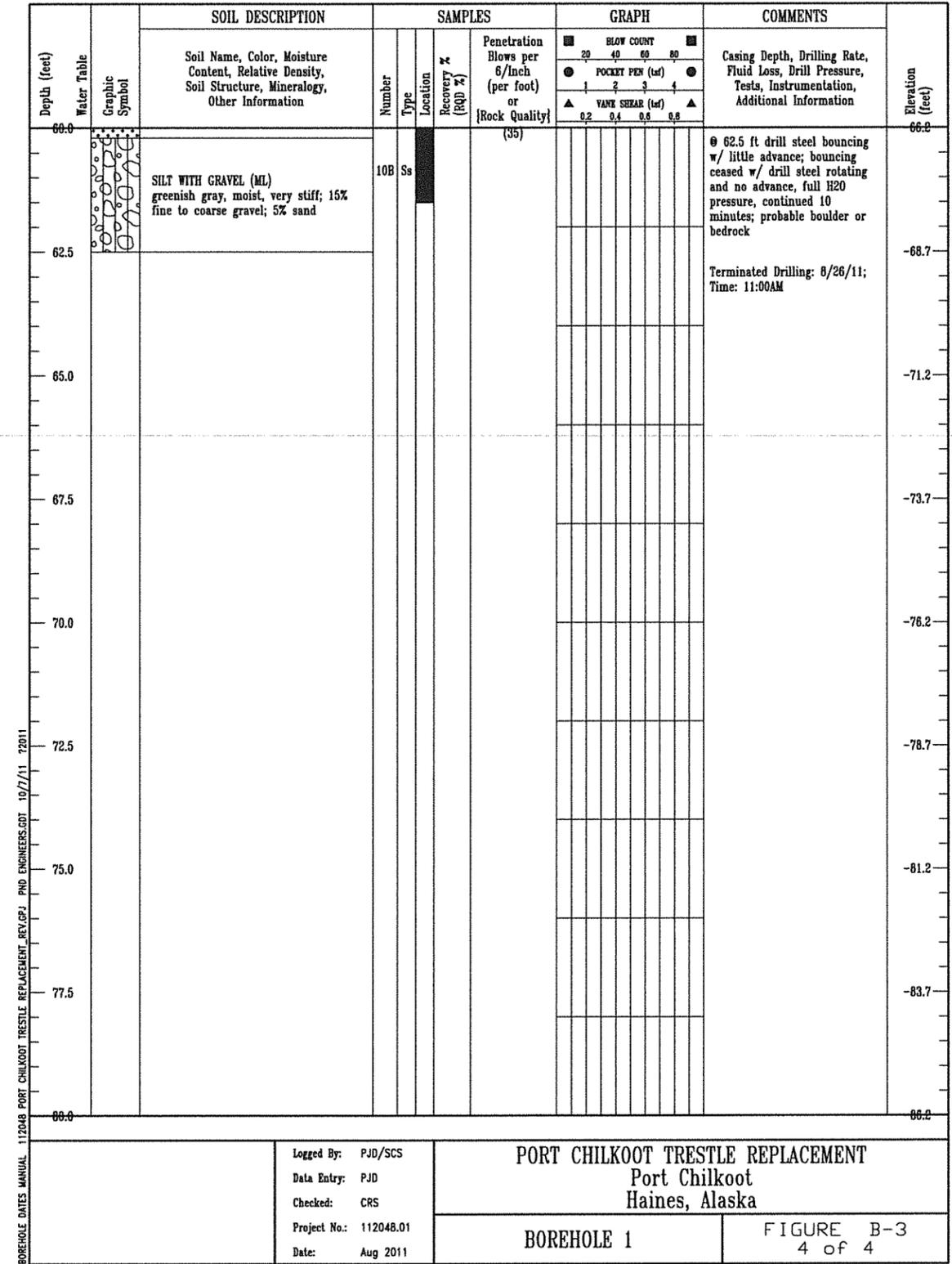
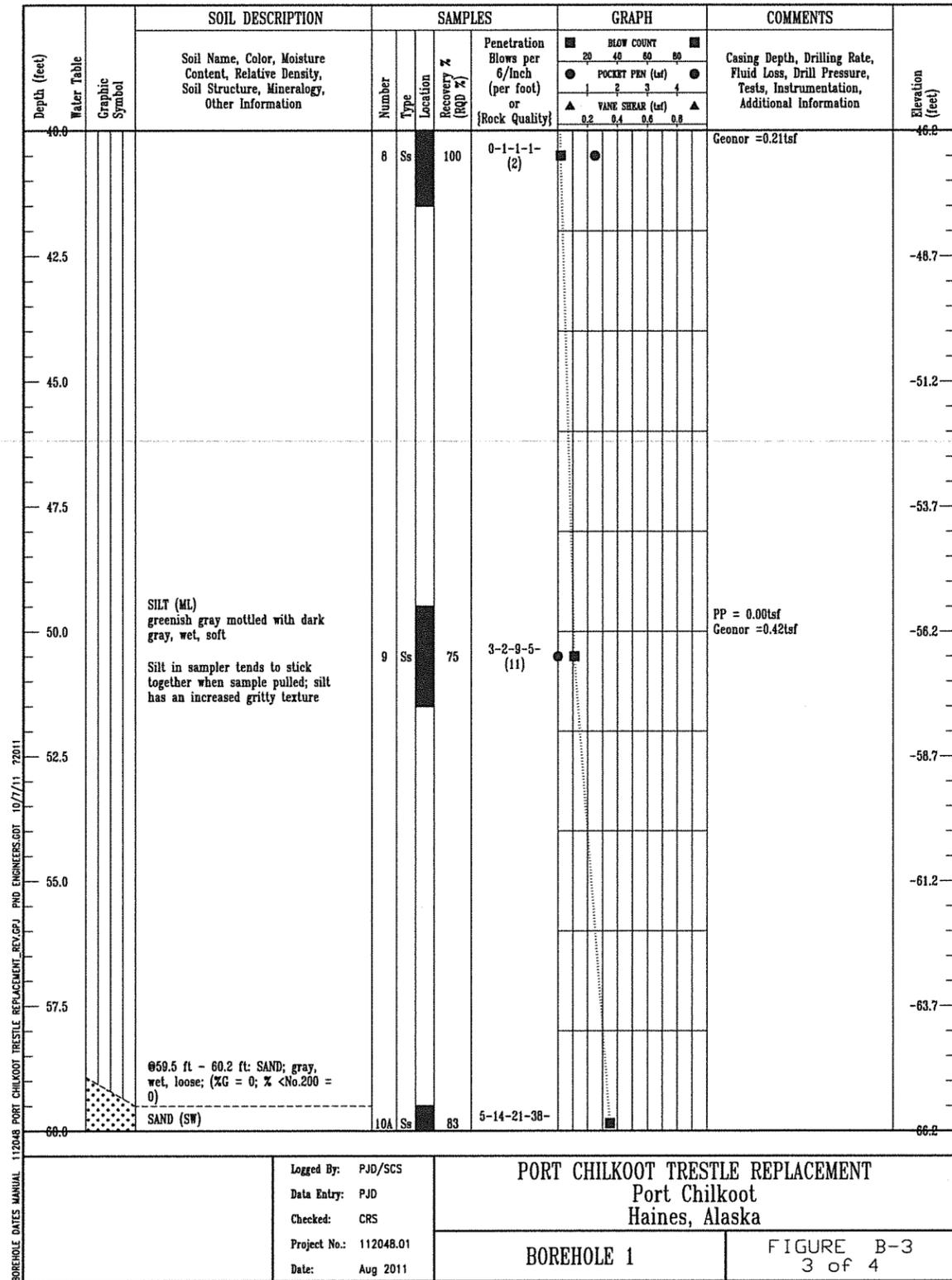
**HAINES BOROUGH PORT CHILKOOT DOCK IMPROVEMENTS - PHASE 2**

SHEET TITLE: **TEST HOLE LOGS**

DATE: 12/21/11

PND PROJECT NO.: 112048.03 DWG. FILE: -

**1.06**  
SHEET 6 OF X



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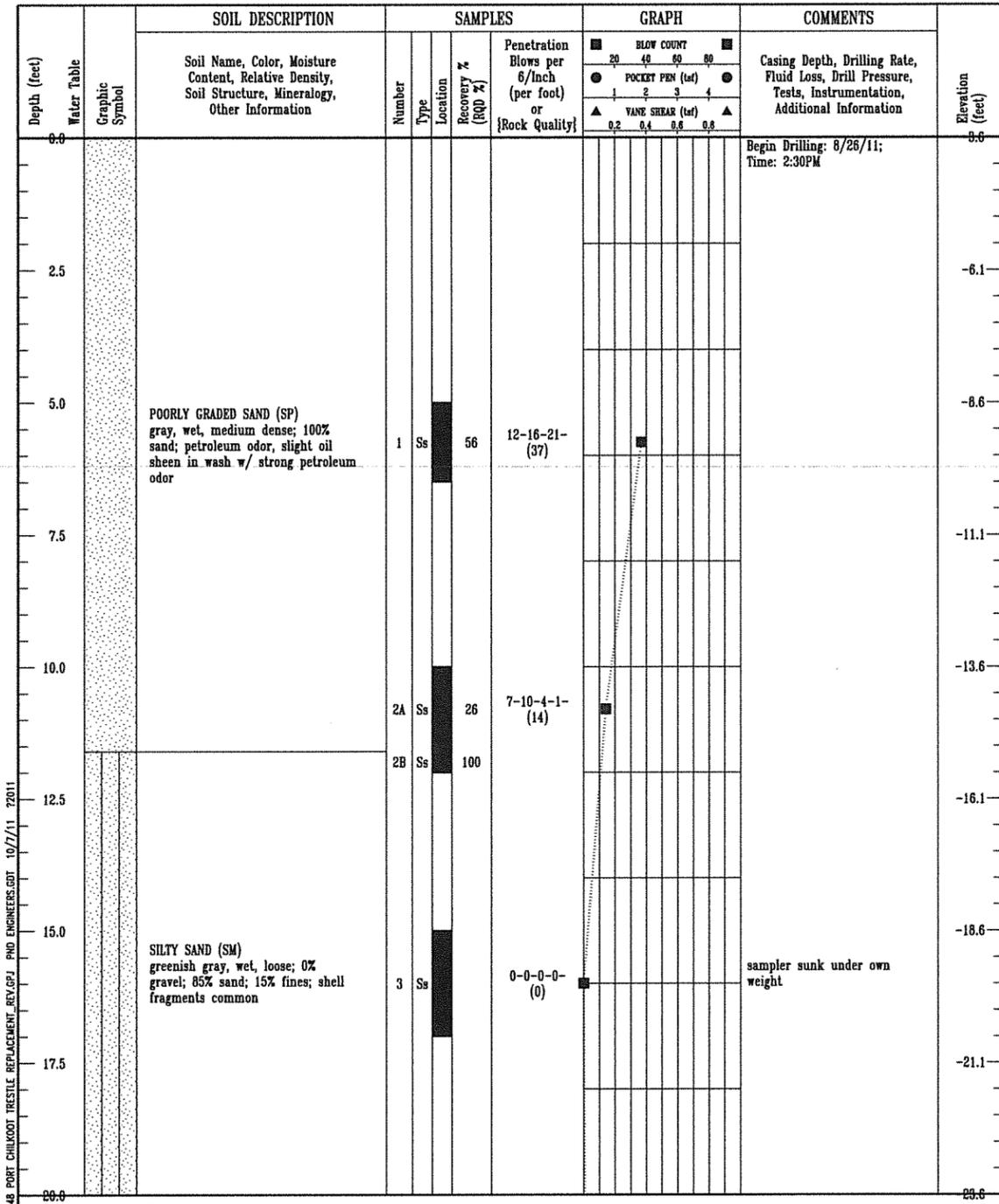
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IMPROVEMENTS - PHASE 2

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PND PROJECT NO.: 112048.03 DWG. FILE: -

1.07  
SHEET  
7 OF X

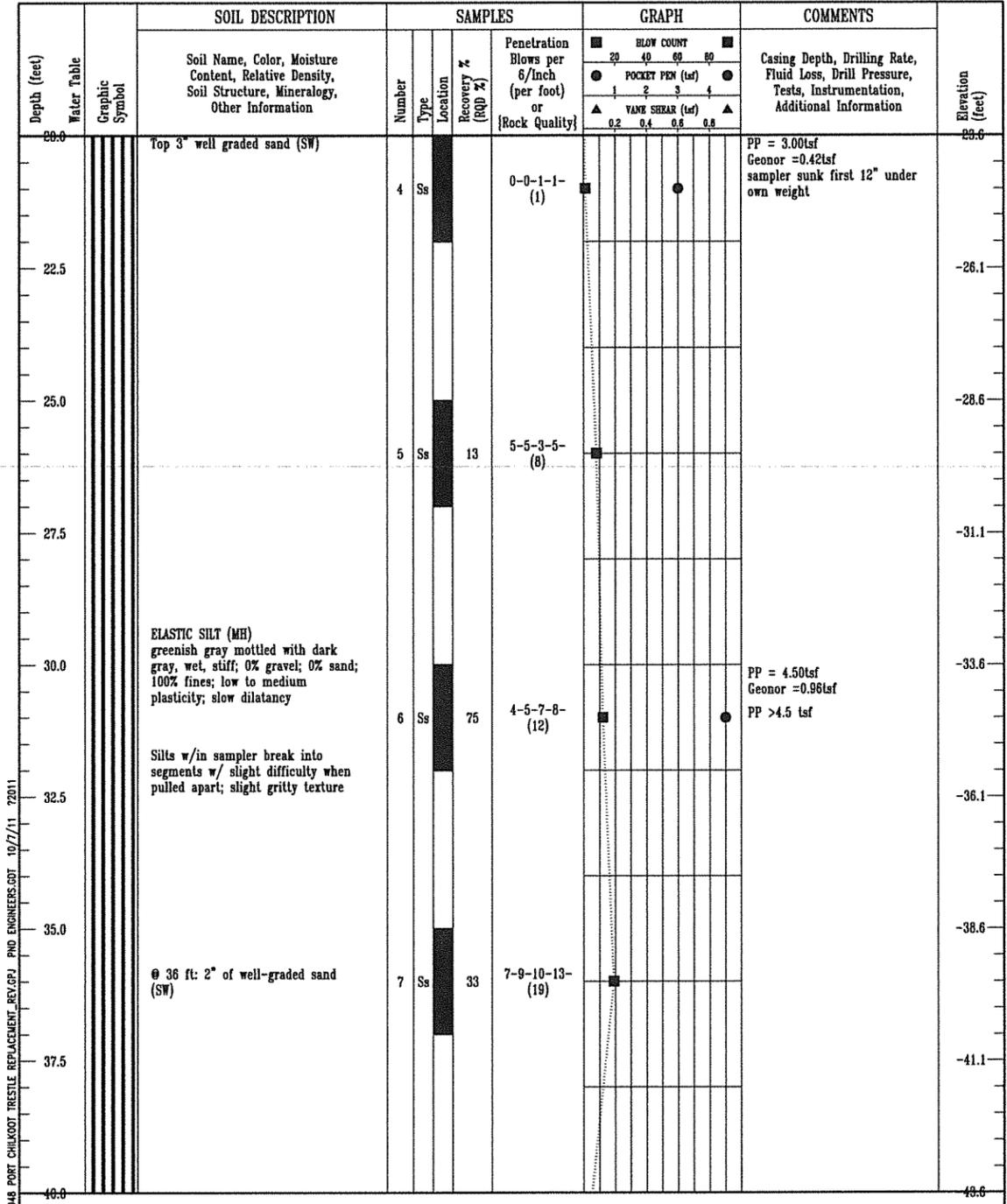


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**PORT CHILKOOT TRESTLE REPLACEMENT**  
 Port Chilkoot  
 Haines, Alaska

**BOREHOLE 2**

FIGURE B-4  
 1 of 4



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**PORT CHILKOOT TRESTLE REPLACEMENT**  
 Port Chilkoot  
 Haines, Alaska

**BOREHOLE 2**

FIGURE B-4  
 2 of 4

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HAINES BOROUGH  
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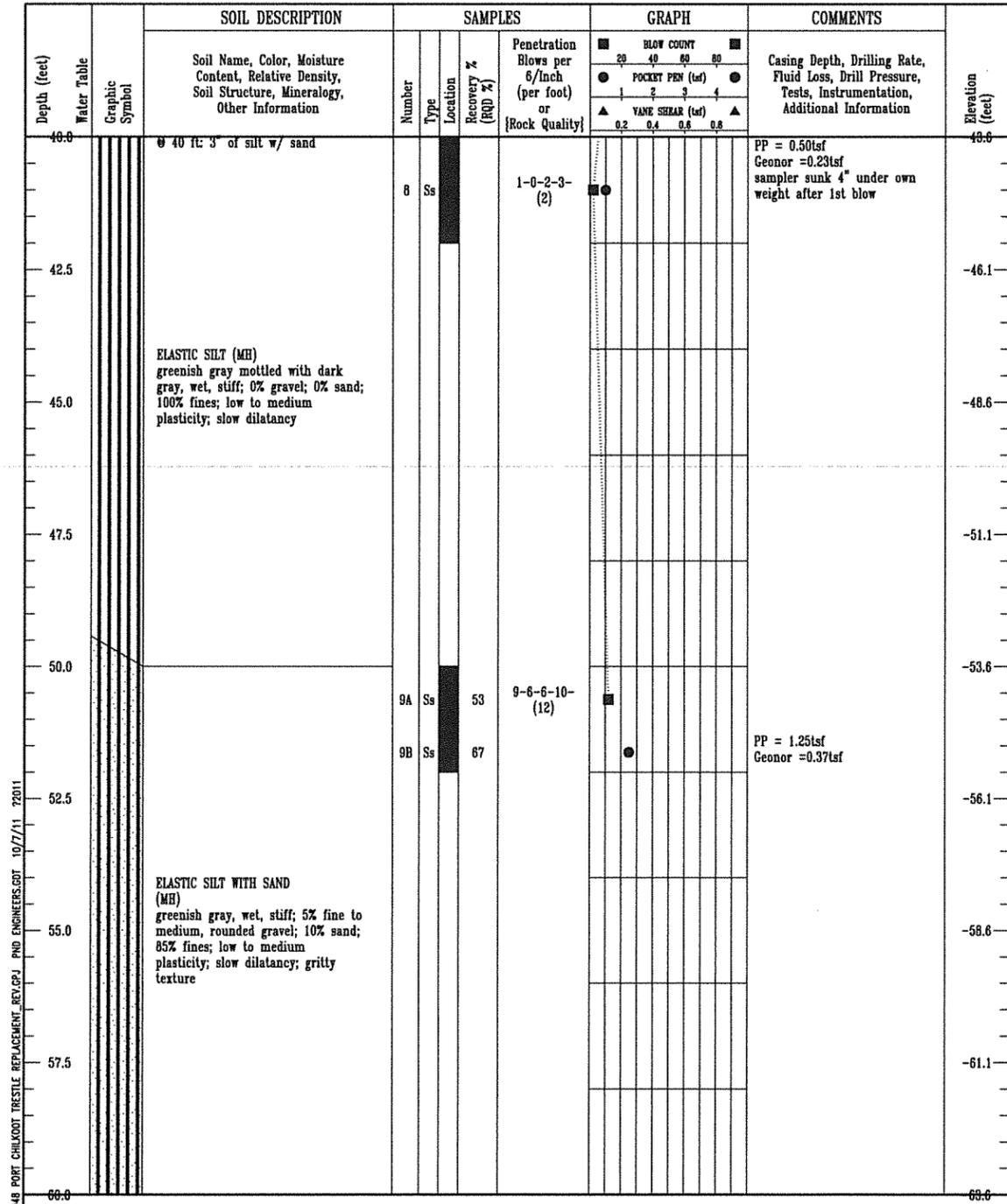
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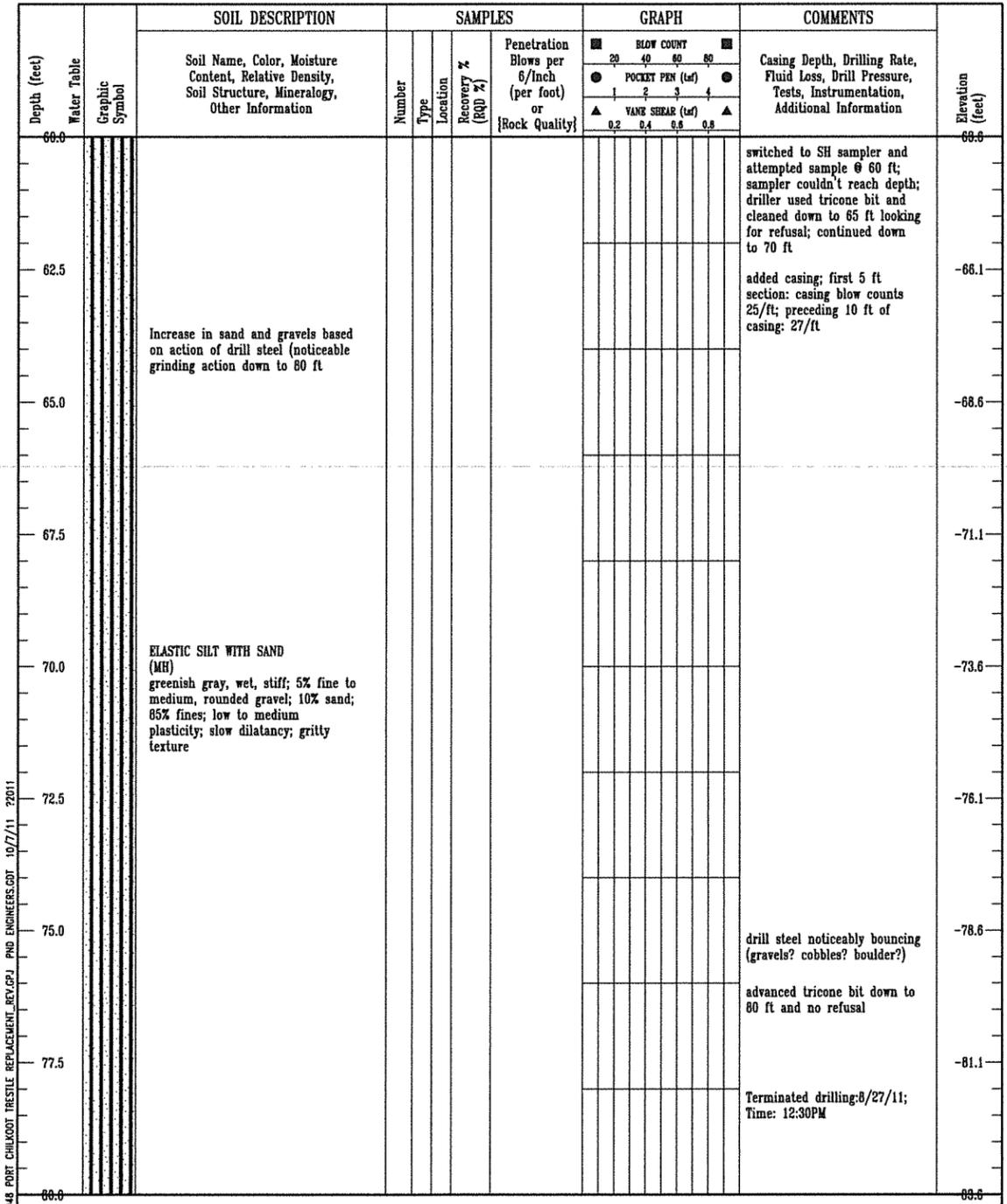
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FIGURE B-4  
3 of 4



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FIGURE B-4  
4 of 4

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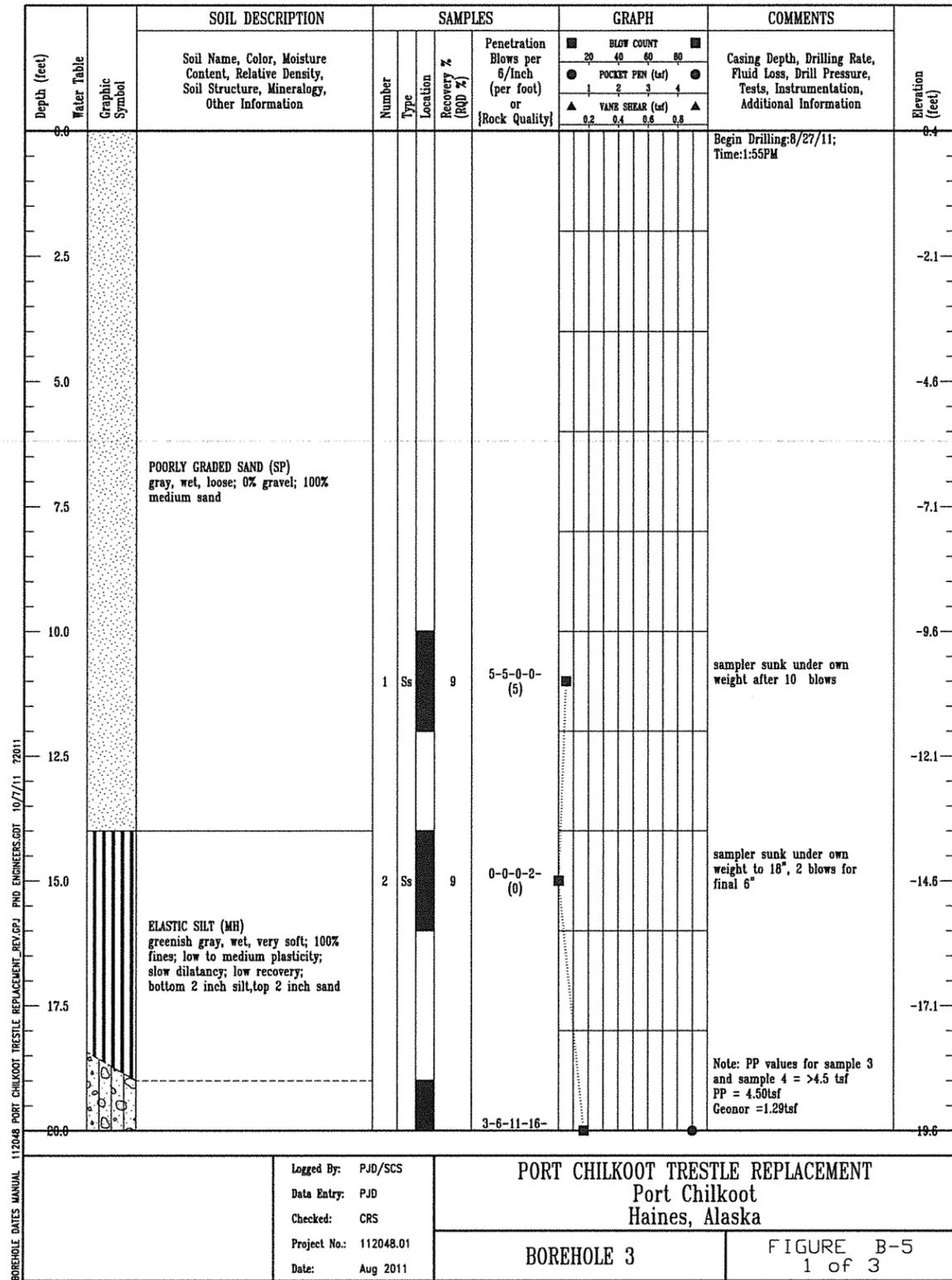
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1.09  
SHEET 9 OF X

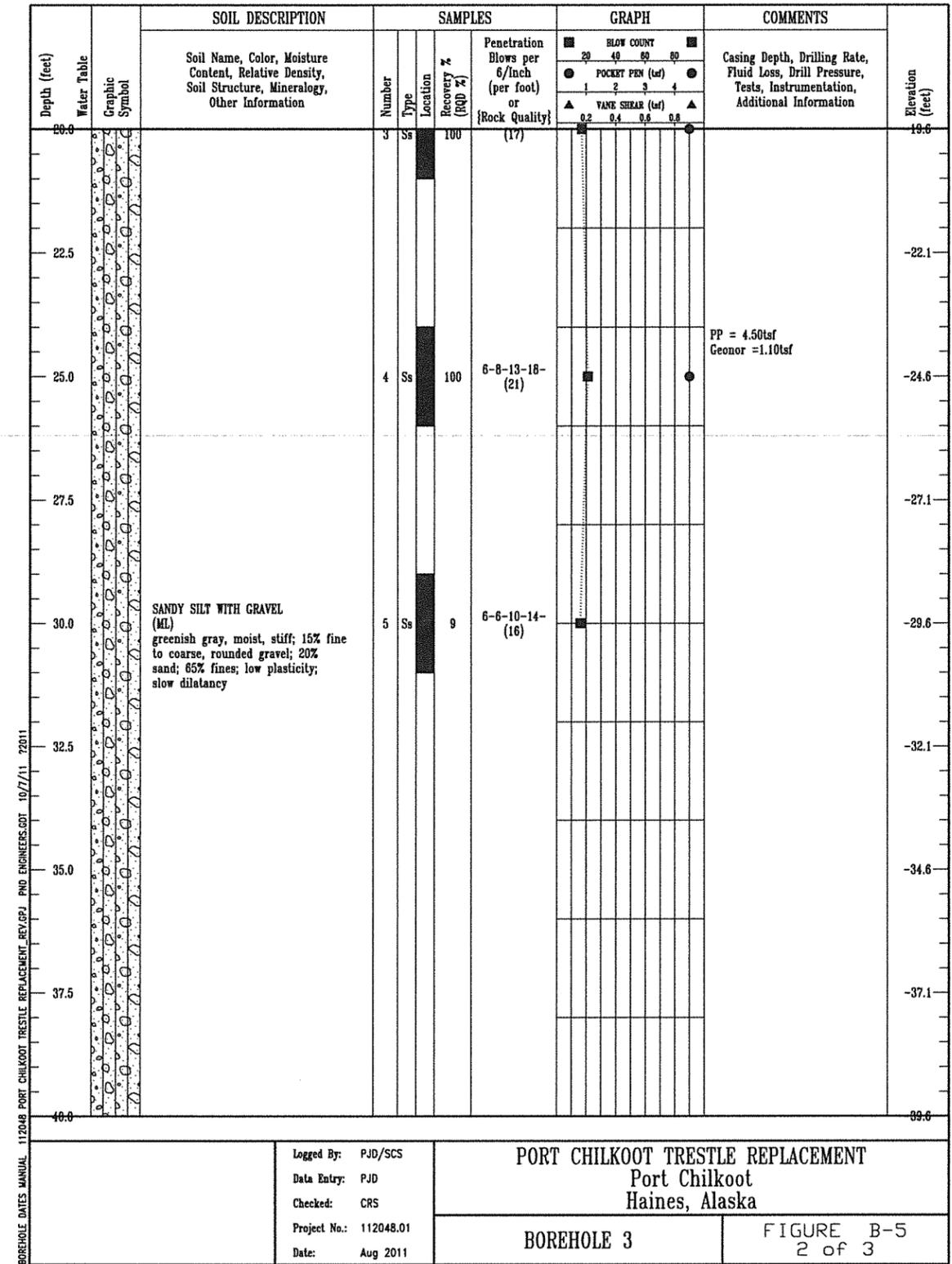


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PORT CHILKOOT TRESTLE REPLACEMENT  
 Port Chilkoot  
 Haines, Alaska

BOREHOLE 3

FIGURE B-5  
 1 of 3



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 Date: Aug 2011

PORT CHILKOOT TRESTLE REPLACEMENT  
 Port Chilkoot  
 Haines, Alaska

BOREHOLE 3

FIGURE B-5  
 2 of 3

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HAINES BOROUGH  
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PND PROJECT NO.: 112048.03 DWG. FILE: -

1.10  
 SHEET  
 10 OF X

Depth (feet)	Water Table	Graphic Symbol	SOIL DESCRIPTION Soil Name, Color, Moisture Content, Relative Density, Soil Structure, Mineralogy, Other Information	SAMPLES			Penetration Blows per 6/Inch (per foot) or {Rock Quality}	GRAPH				COMMENTS Casing Depth, Drilling Rate, Fluid Loss, Drill Pressure, Tests, Instrumentation, Additional Information	Elevation (feet)
				Number	Type	Location		BLOW COUNT		POCKET PEN (tsf)			
40.0												39.6	
42.5												-42.1	
45.0												-44.6	
47.5			SANDY SILT WITH GRAVEL (ML) greenish gray, moist, stiff; 15% fine to coarse, rounded gravel; 20% sand; 65% fines; low plasticity; slow dilatancy									-47.1	
50.0			Increase in gravels? cobbles? boulders? based on action of drill steel									-49.6	
52.5												-52.1	
55.0												-54.6	
57.5												-57.1	
60.0												-59.6	
				Logged By: PJD/SCS	PORT CHILKOOT TRESTLE REPLACEMENT								
				Data Entry: PJD	Port Chilkoot								
				Checked: CRS	Haines, Alaska								
				Project No.: 112048.01	BOREHOLE 3				FIGURE B-5				
				Date: Aug 2011					3 of 3				

BOREHOLE DATES MANUAL 112048 PORT CHILKOOT TRESTLE REPLACEMENT\_REV.GPJ PND ENGINEERS.GDT 10/7/11 72011

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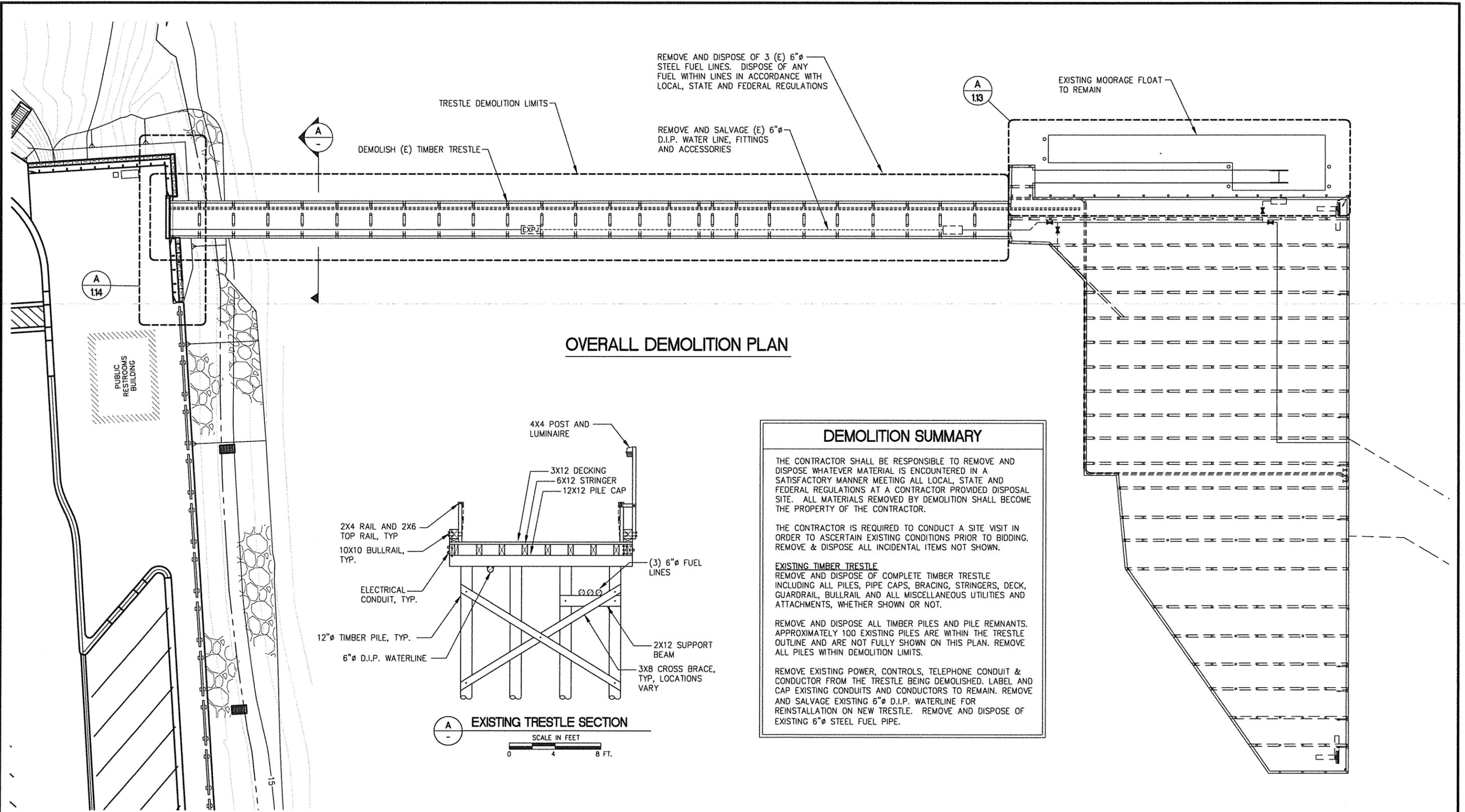
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 IMPROVEMENTS - PHASE 2**

SHEET TITLE: **TEST HOLE LOGS**

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**1.11**  
 SHEET 11 OF X



**OVERALL DEMOLITION PLAN**

**DEMOLITION SUMMARY**

THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE WHATEVER MATERIAL IS ENCOUNTERED IN A SATISFACTORY MANNER MEETING ALL LOCAL, STATE AND FEDERAL REGULATIONS AT A CONTRACTOR PROVIDED DISPOSAL SITE. ALL MATERIALS REMOVED BY DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

THE CONTRACTOR IS REQUIRED TO CONDUCT A SITE VISIT IN ORDER TO ASCERTAIN EXISTING CONDITIONS PRIOR TO BIDDING. REMOVE & DISPOSE ALL INCIDENTAL ITEMS NOT SHOWN.

**EXISTING TIMBER TRESTLE**  
 REMOVE AND DISPOSE OF COMPLETE TIMBER TRESTLE INCLUDING ALL PILES, PIPE CAPS, BRACING, STRINGERS, DECK, GUARDRAIL, BULLRAIL AND ALL MISCELLANEOUS UTILITIES AND ATTACHMENTS, WHETHER SHOWN OR NOT.

REMOVE AND DISPOSE ALL TIMBER PILES AND PILE REMNANTS. APPROXIMATELY 100 EXISTING PILES ARE WITHIN THE TRESTLE OUTLINE AND ARE NOT FULLY SHOWN ON THIS PLAN. REMOVE ALL PILES WITHIN DEMOLITION LIMITS.

REMOVE EXISTING POWER, CONTROLS, TELEPHONE CONDUIT & CONDUCTOR FROM THE TRESTLE BEING DEMOLISHED. LABEL AND CAP EXISTING CONDUITS AND CONDUCTORS TO REMAIN. REMOVE AND SALVAGE EXISTING 6" D.I.P. WATERLINE FOR REINSTALLATION ON NEW TRESTLE. REMOVE AND DISPOSE OF EXISTING 6" STEEL FUEL PIPE.

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REVISIONS					
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DESIGN: SRY CHECKED: CRS  
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SCALE: SCALE (FEET)  
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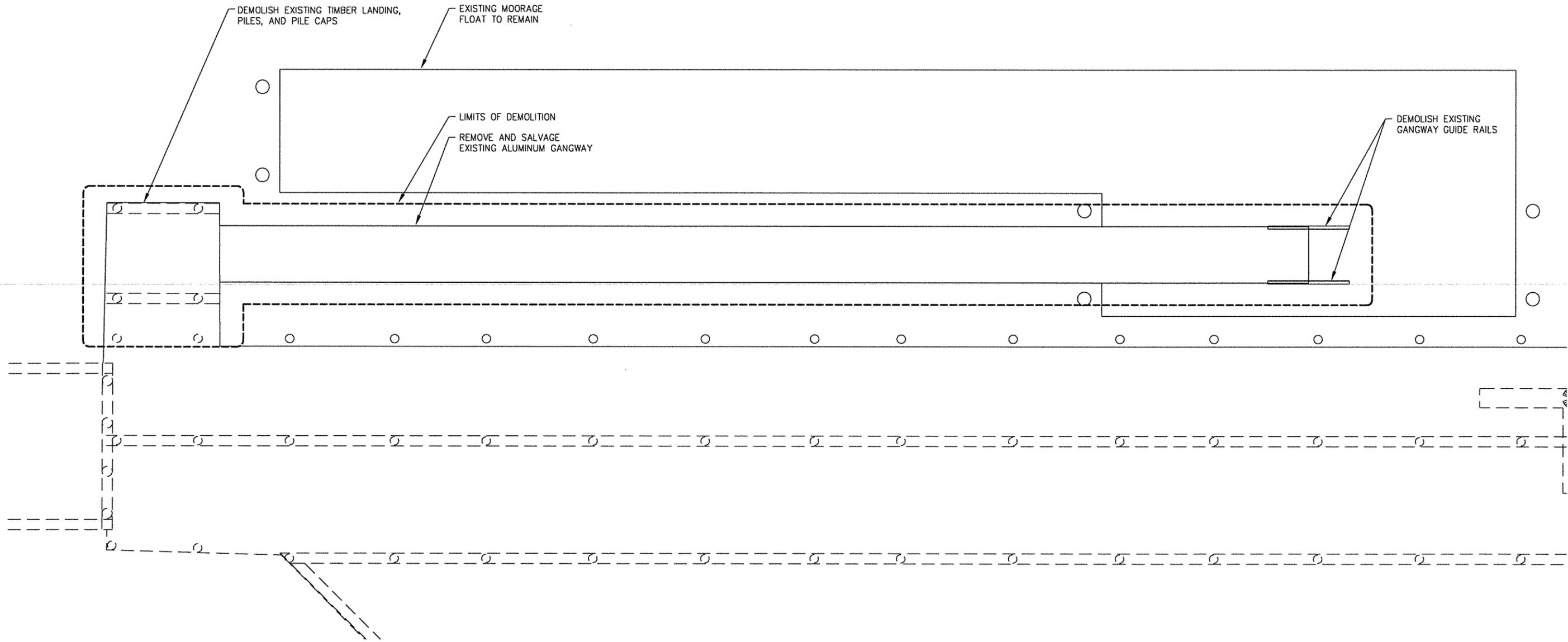
**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**OVERALL DEMOLITION PLAN**

DATE: 12/21/11

PND PROJECT NO.: 112048.03 DWG. FILE: -

**1.12**  
 SHEET  
 12 OF X



**A** GANGWAY DEMOLITION PLAN

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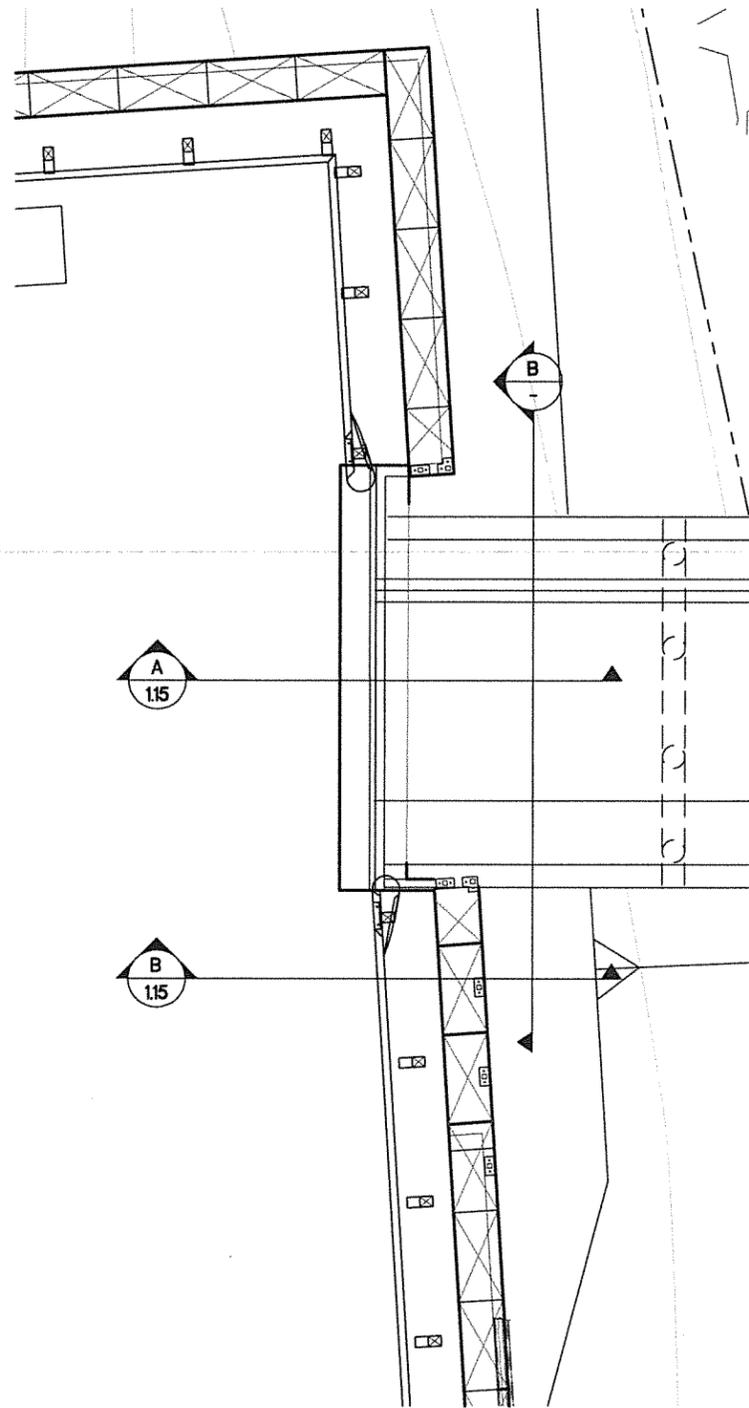
DATE: 12/21/11

**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

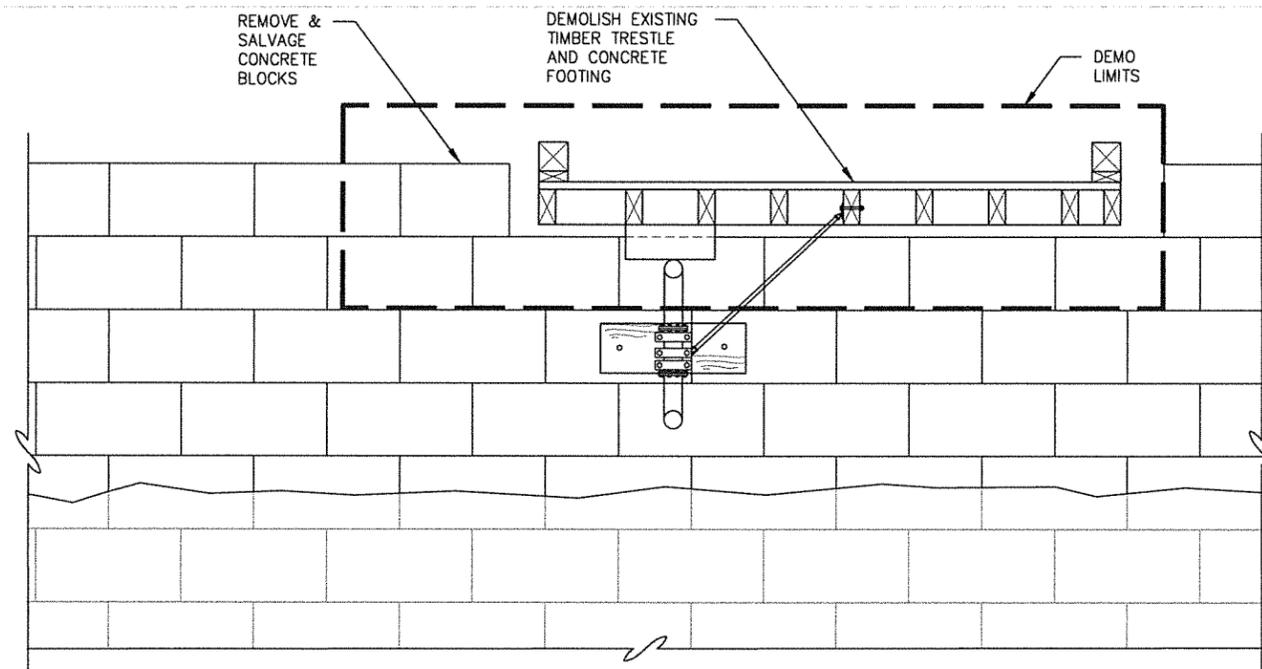
SHEET TITLE:  
**GANGWAY & GANGWAY LANDING  
DEMOLITION PLAN**

PND PROJECT NO.: 112048.03 DWG. FILE: -

**1.13**  
SHEET  
13 OF X



**A** ABUTMENT DEMOLITION PLAN  
SCALE: 0' 5' 10'



**B** ABUTMENT DEMOLITION ELEVATION

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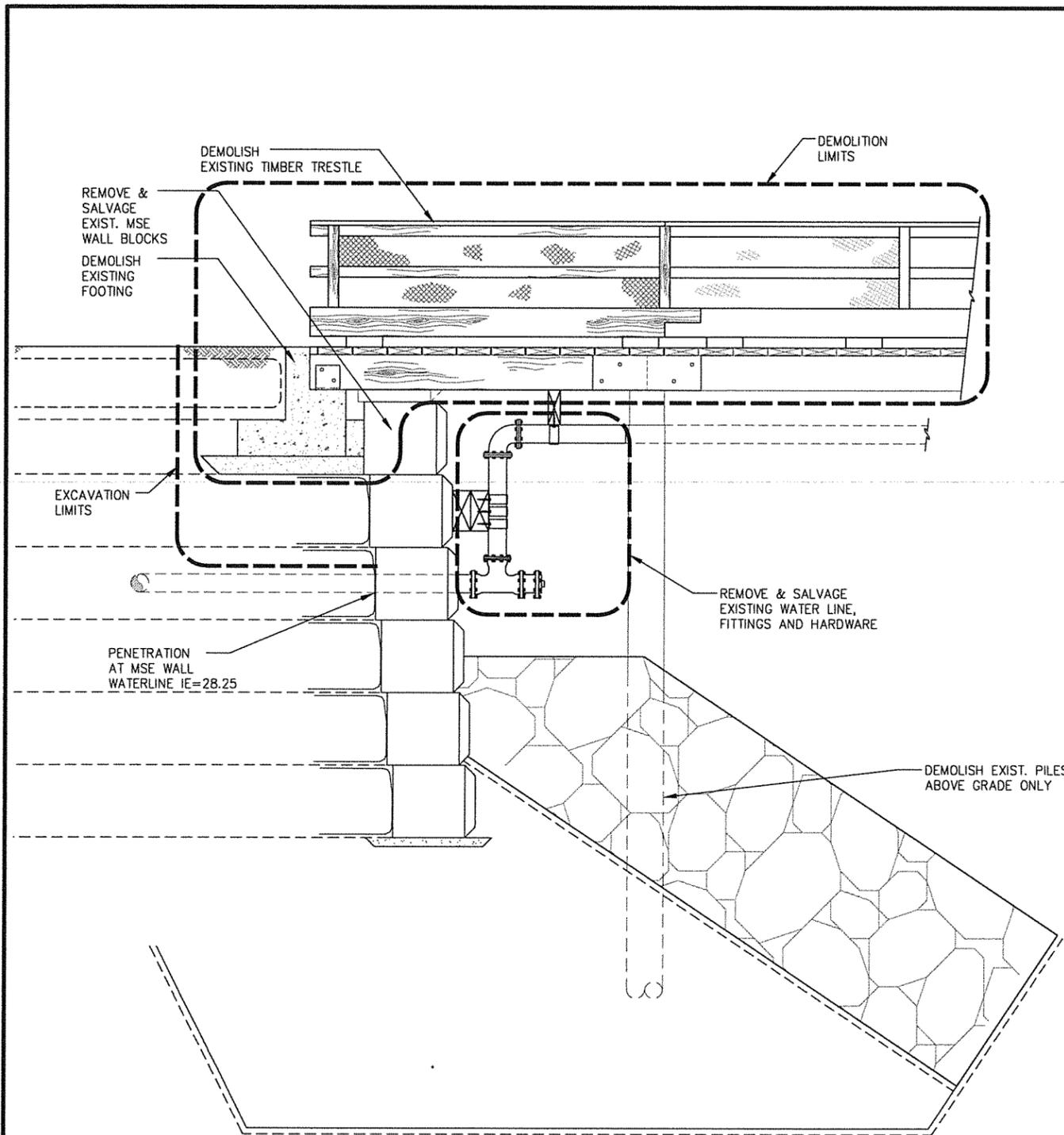
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**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

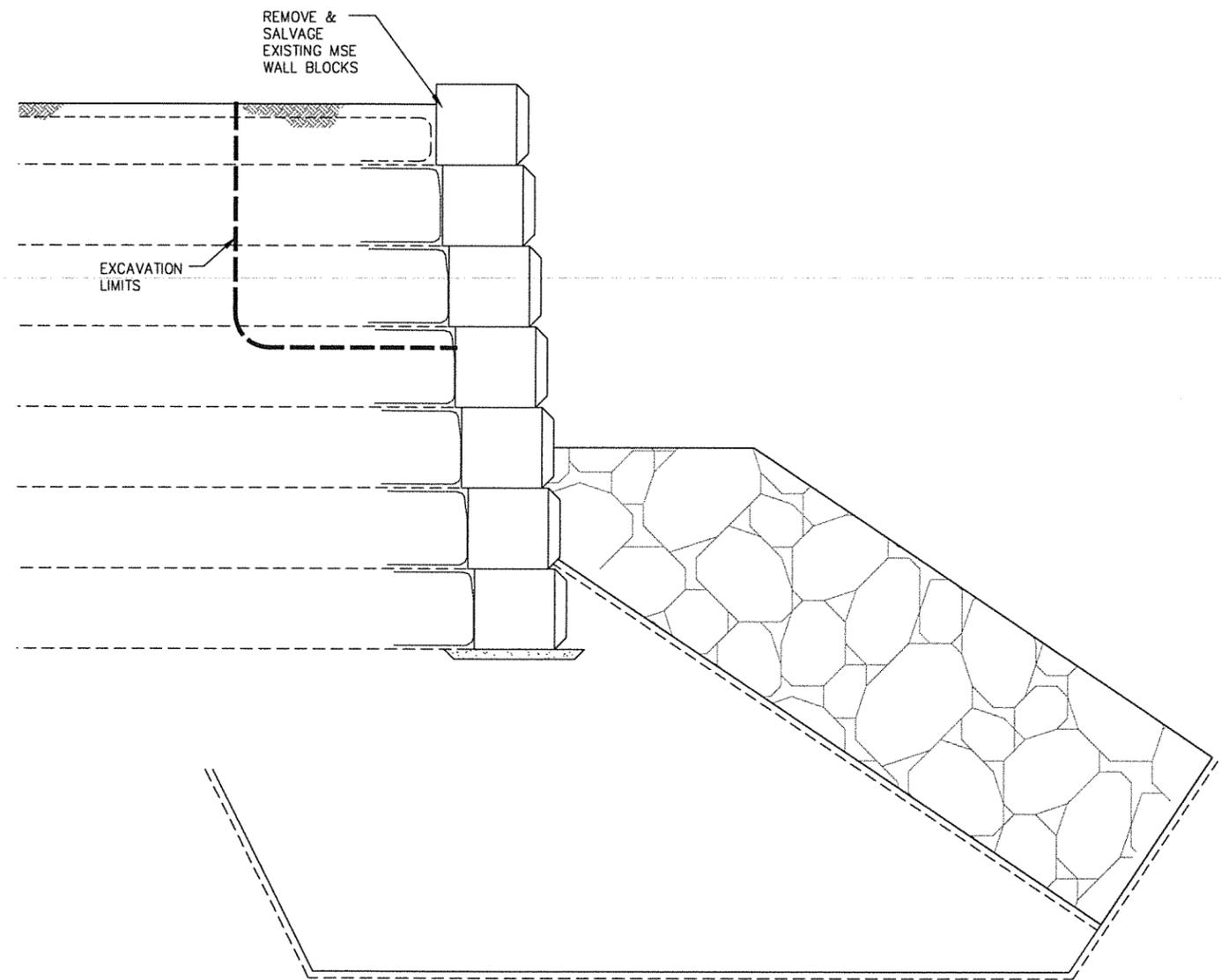
SHEET TITLE:  
**ABUTMENT DEMOLITION PLAN**

PND PROJECT NO.: 112048.03 DWG. FILE: -

**1.14**  
SHEET  
14 of X



**A** DEMOLITION SECTION AT EXISTING TRESTLE



**B** MSE WALL DEMOLITION SECTION

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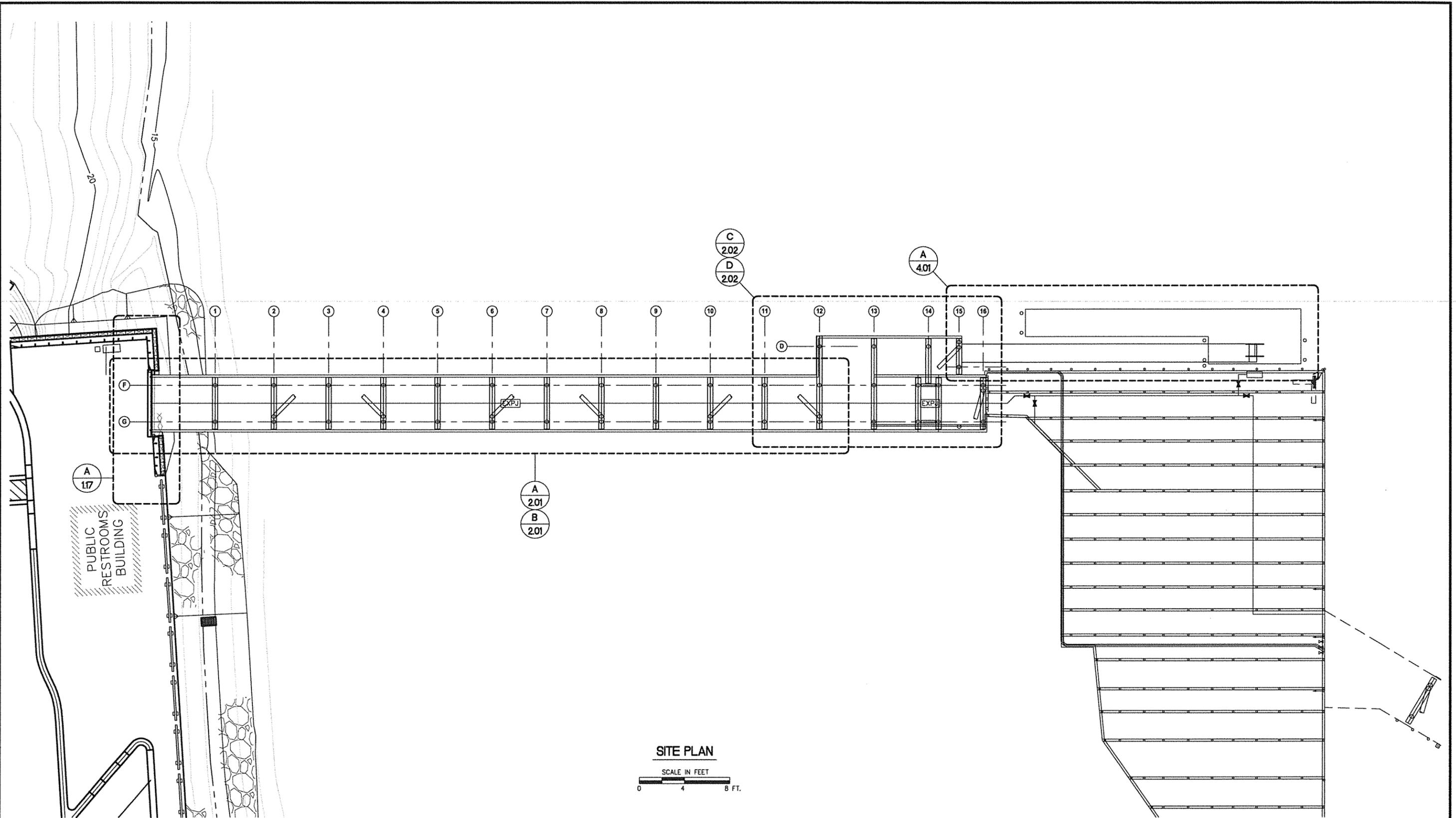
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 DRAWN: SRY    APPROVED: CRS    0    40    80

DATE: 12/21/11

**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**ABUTMENT DEMOLITION SECTIONS**

PND PROJECT NO.: 112048.03    DWG. FILE: -



**SITE PLAN**  
SCALE IN FEET  
0 4 8 FT.

**65% DESIGN REVIEW SUBMITTAL**

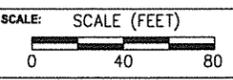
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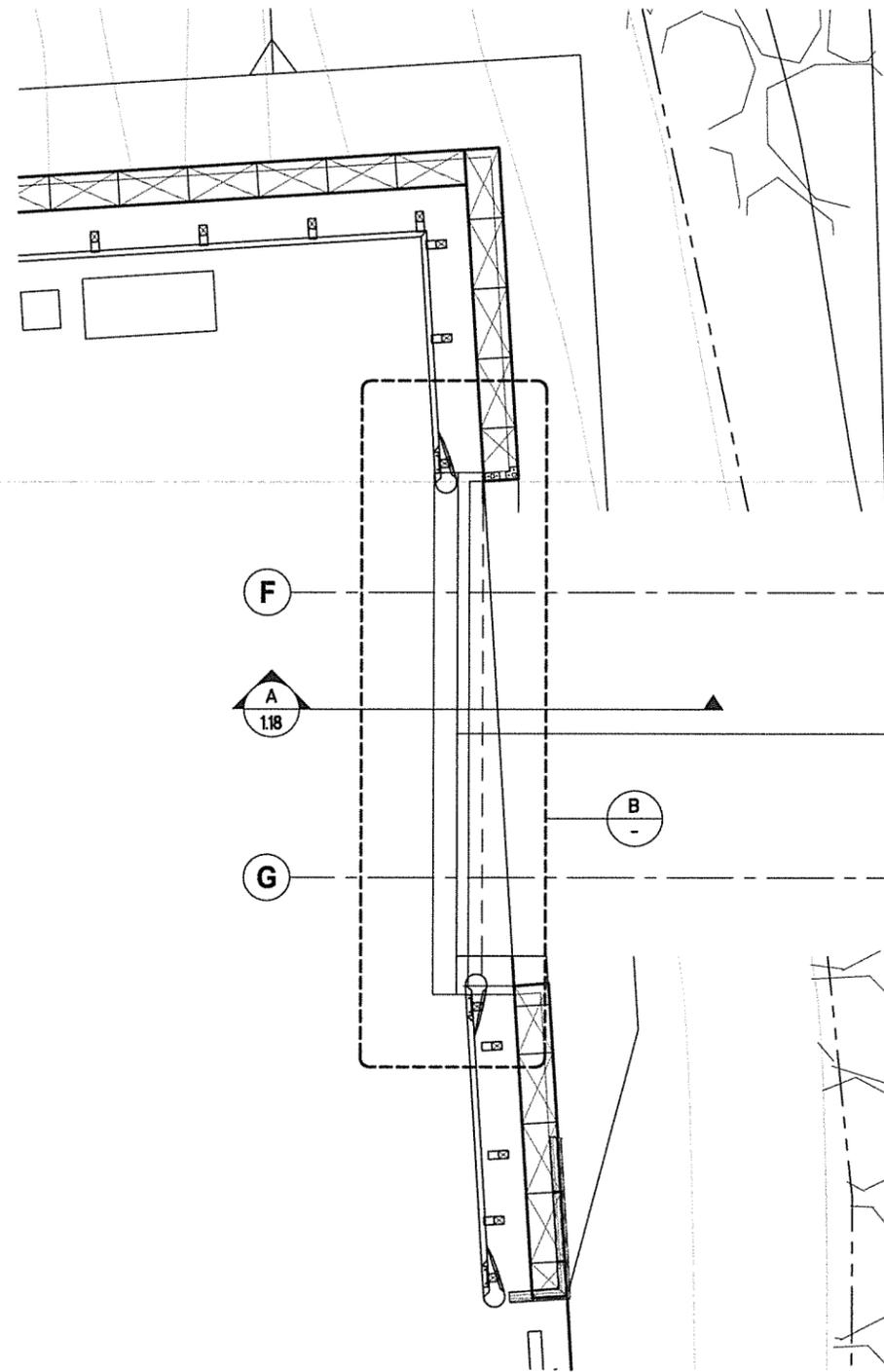


DATE: 12/21/11

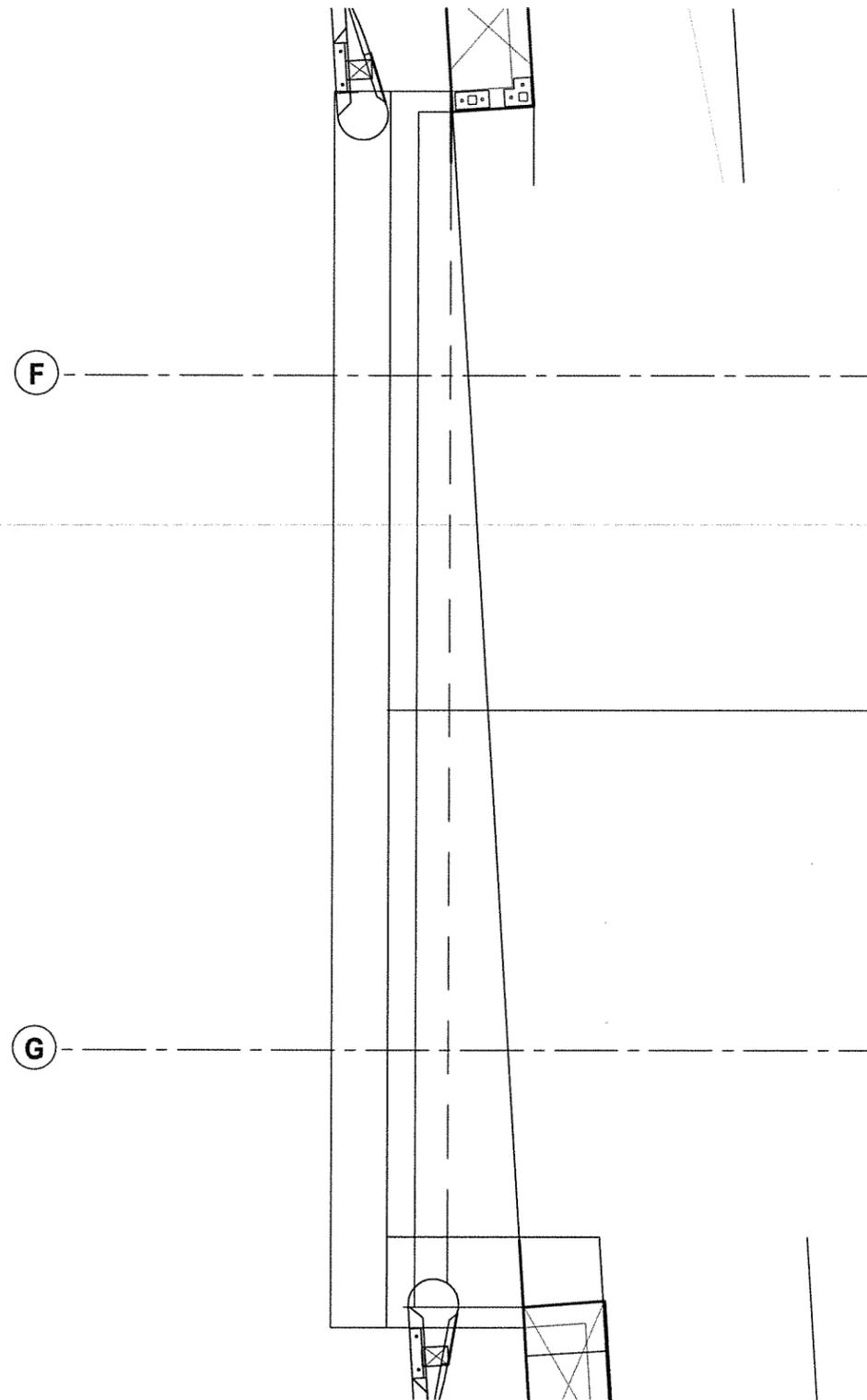
**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**SITE PLAN**  
PND PROJECT NO.: 112048.03 DWG. FILE: -

**1.16**  
SHEET  
16 OF X



**A** ABUTMENT PLAN



**B** ABUTMENT FOUNDATION PLAN

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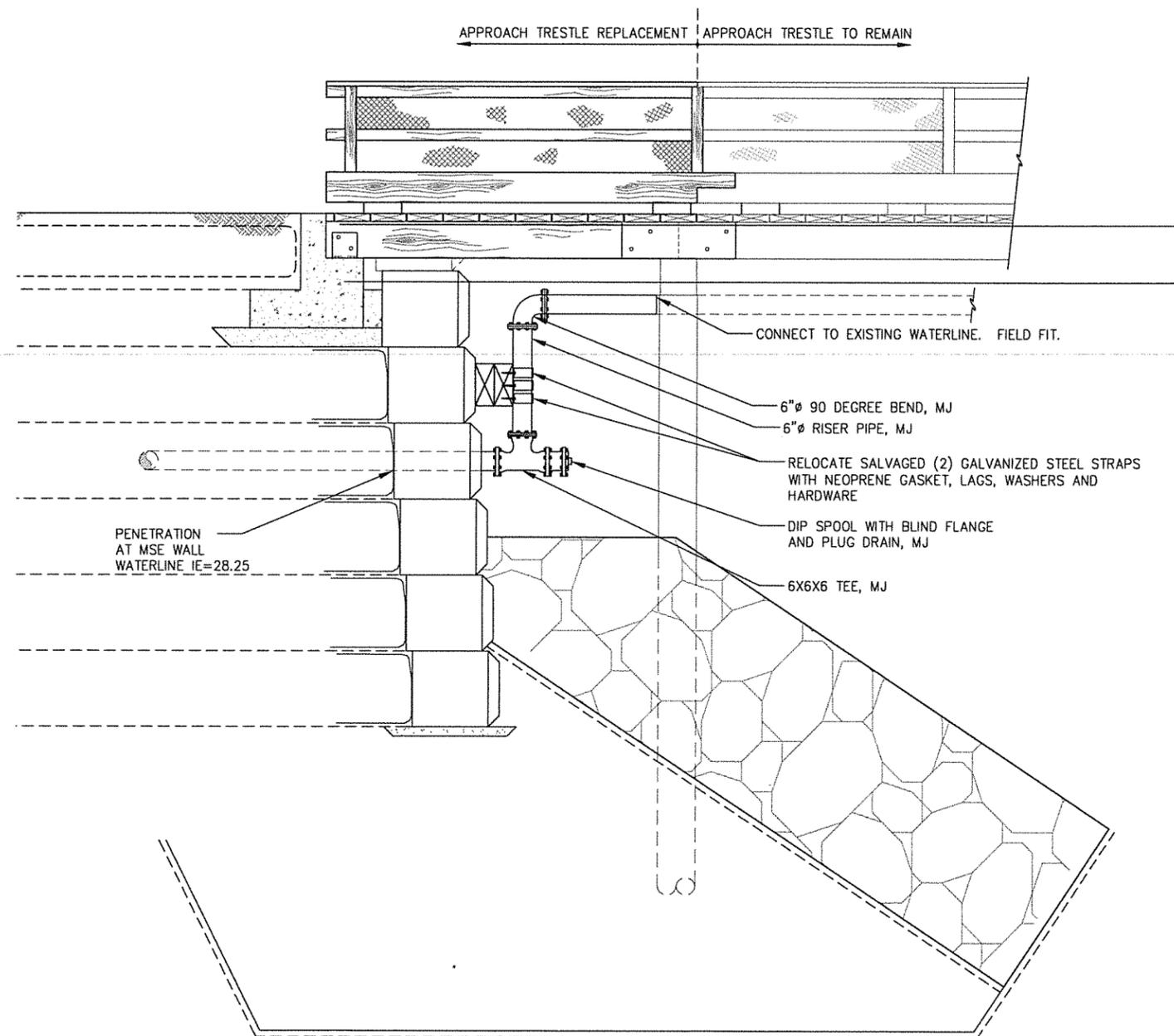
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DATE: 12/21/11

**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**ABUTMENT PLAN & SECTION**  
 PND PROJECT NO.: 112048.03 DWG. FILE: --

**1.17**  
 SHEET  
 17 OF X



PENETRATION  
AT MSE WALL  
WATERLINE IE=28.25

- CONNECT TO EXISTING WATERLINE. FIELD FIT.
- 6"Ø 90 DEGREE BEND, MJ
- 6"Ø RISER PIPE, MJ
- RELOCATE SALVAGED (2) GALVANIZED STEEL STRAPS WITH NEOPRENE GASKET, LAGS, WASHERS AND HARDWARE
- DIP SPOOL WITH BLIND FLANGE AND PLUG DRAIN, MJ
- 6X6X6 TEE, MJ

A ABUTMENT SECTION

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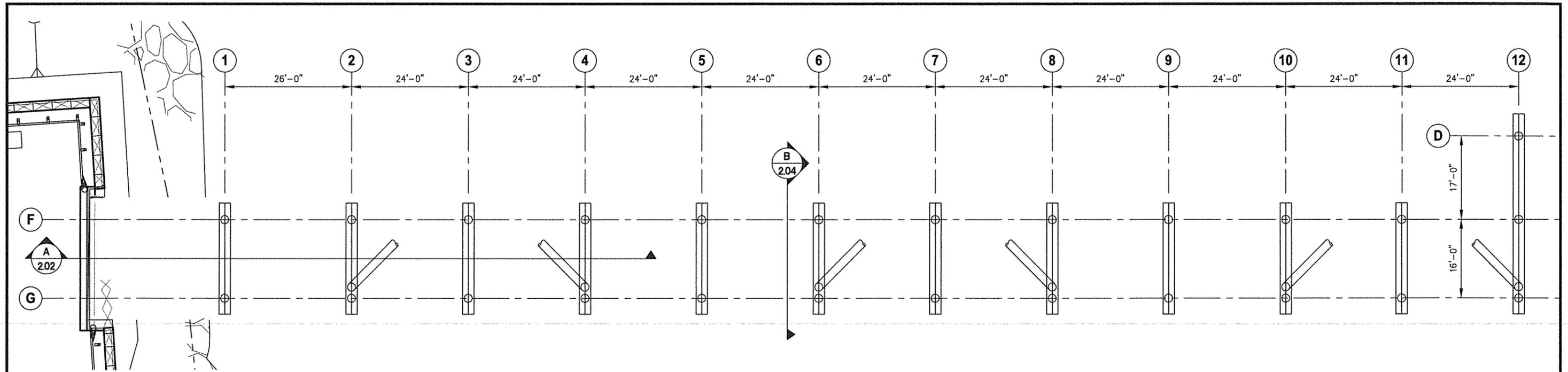
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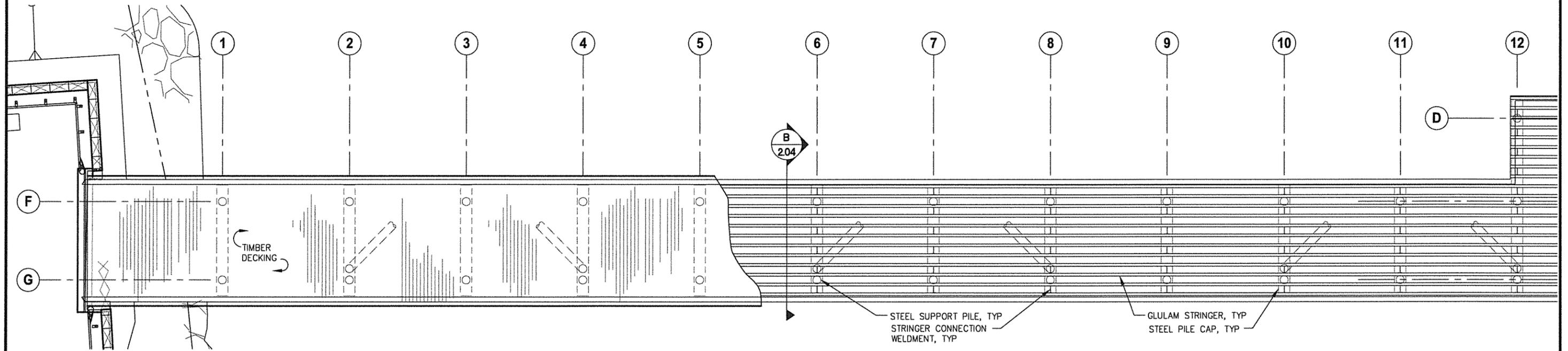
HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2

SHEET TITLE:  
ABUTMENT SECTION

PND PROJECT NO.: 112048.03 DWG. FILE: --



**A** TRESTLE FOUNDATION PLAN  
 SCALE IN FEET  
 0 4 8 FT.



**B** TRESTLE FRAMING PLAN  
 SCALE IN FEET  
 0 4 8 FT.

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REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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SCALE: SCALE (FEET)  
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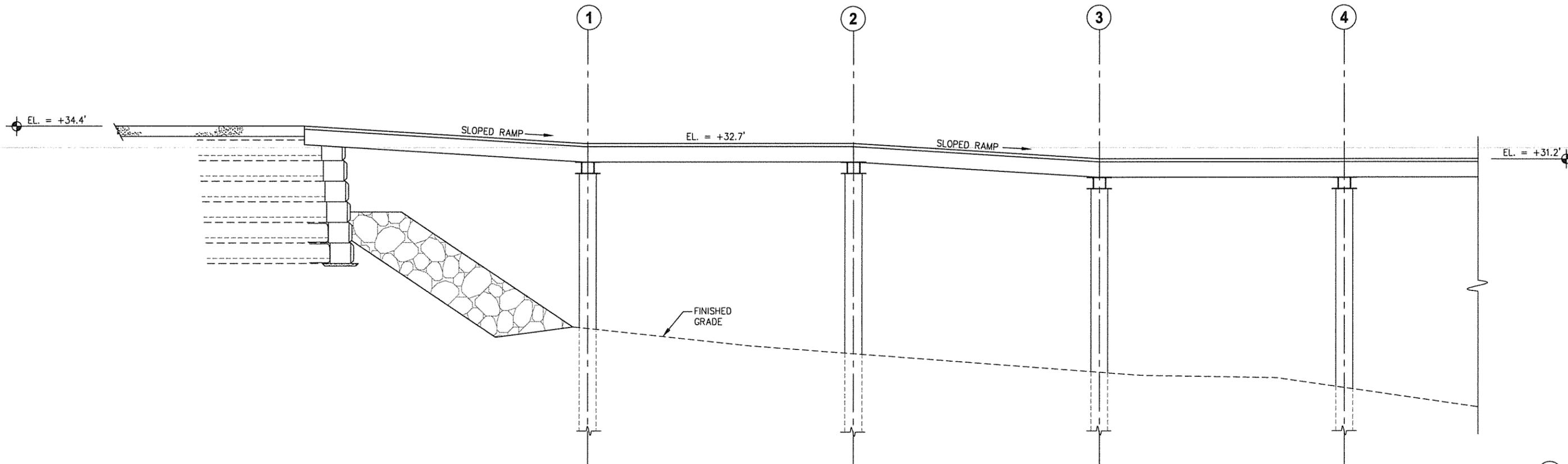
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**HAINES BOROUGH  
 PORT CHILKOOT DOCK  
 IMPROVEMENTS - PHASE 2**

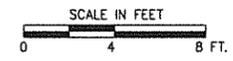
SHEET TITLE:  
**TRESTLE FOUNDATION & FRAMING PLANS**

PND PROJECT NO.: 112048.03 DWG. FILE: -

**2.01**  
 SHEET  
 19 OF X



(A) RAMP ELEVATION AT TRESTLE ABUTMENT



(E)  
(F)  
(G)

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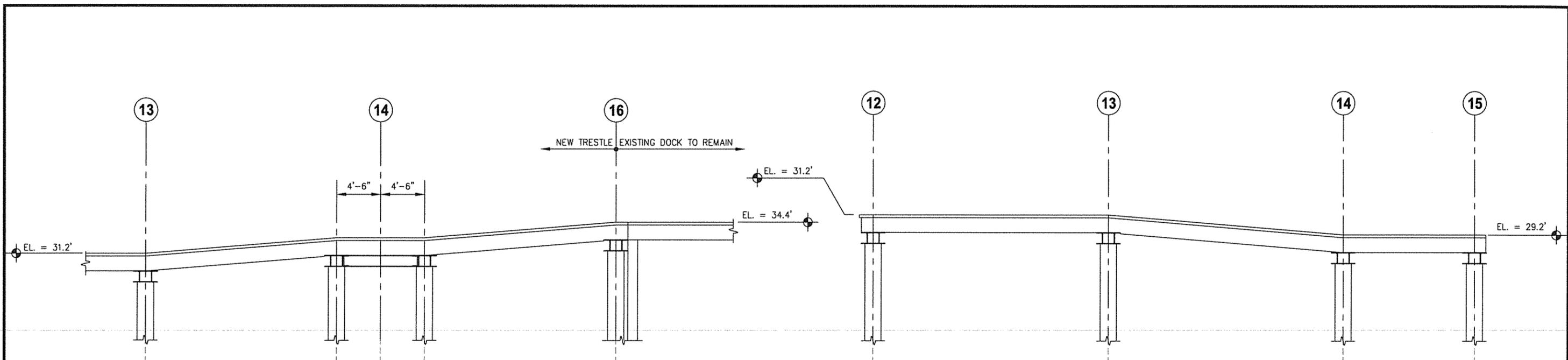
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HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2

SHEET TITLE:  
RAMP ELEVATION AT  
TRESTLE ABUTMENT

PND PROJECT NO.: 112048.03 DWG. FILE: -

2.02  
SHEET  
20 OF X

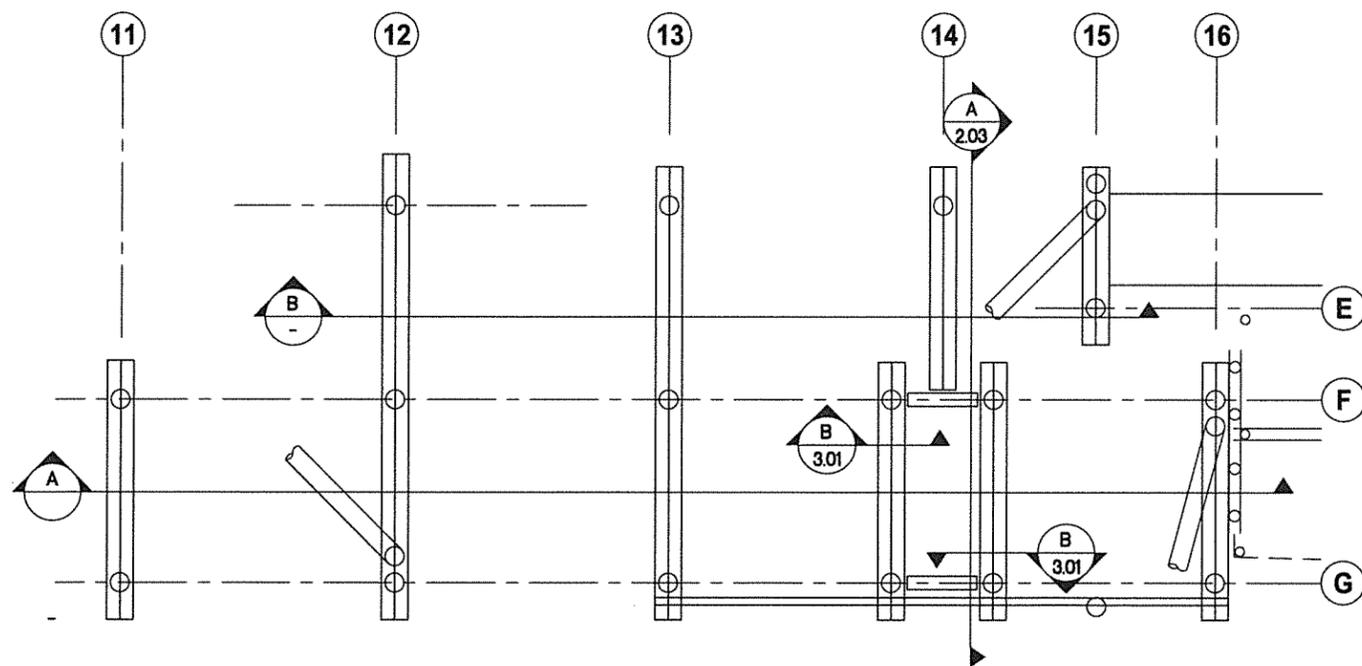


**A** TRESTLE RAMP CONNECTION TO EXIST. DOCK SECTION

SCALE IN FEET  
0 4 8 FT.

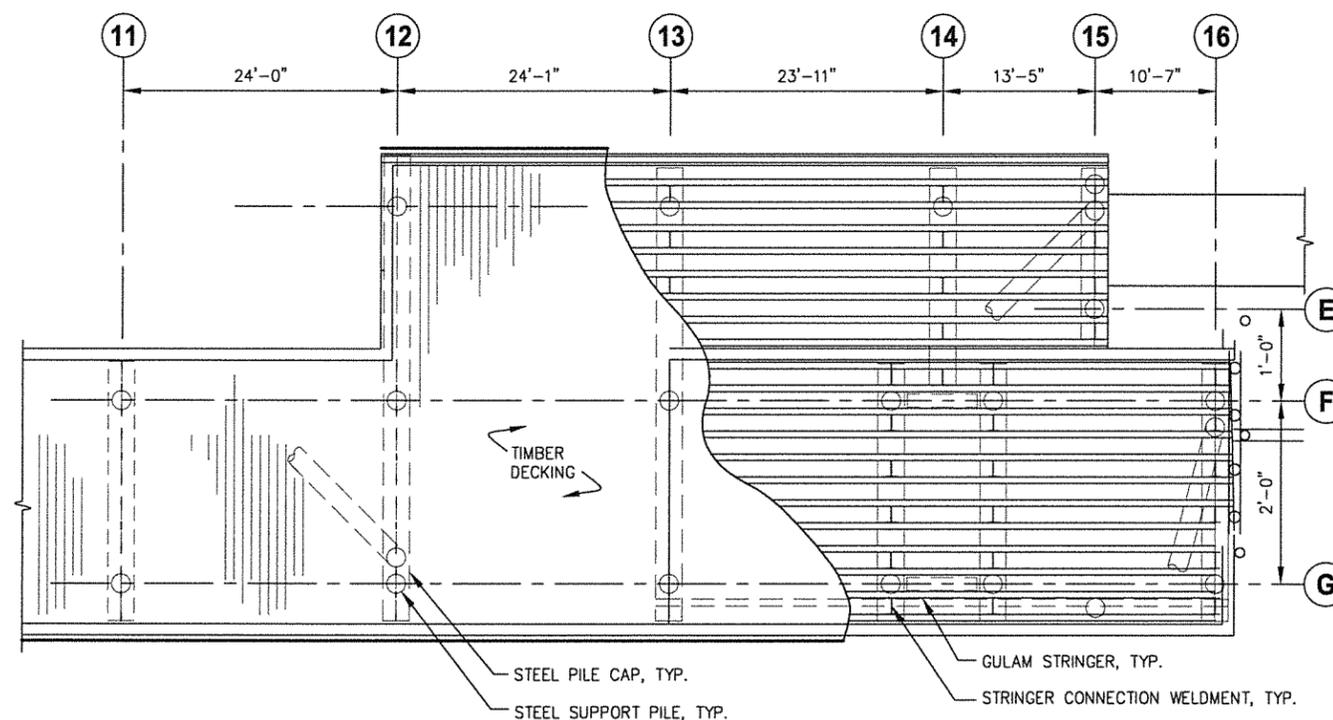
**B** GANGWAY QUEUING AREA AND RAMP SECTION

SCALE IN FEET  
0 4 8 FT.



**C** GANGWAY QUEUING AREA FOUNDATION PLAN

SCALE IN FEET  
0 4 8 FT.



**D** GANGWAY QUEUING AREA FRAMING PLAN

SCALE IN FEET  
0 4 8 FT.

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REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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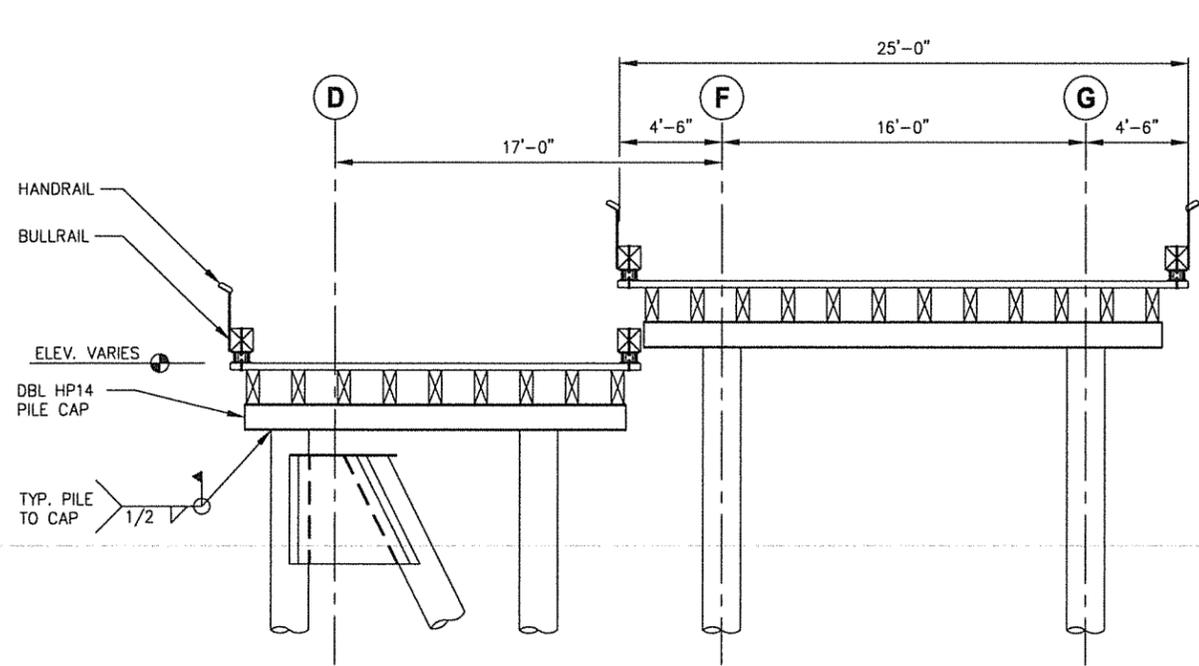
DATE: 12/21/11

**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

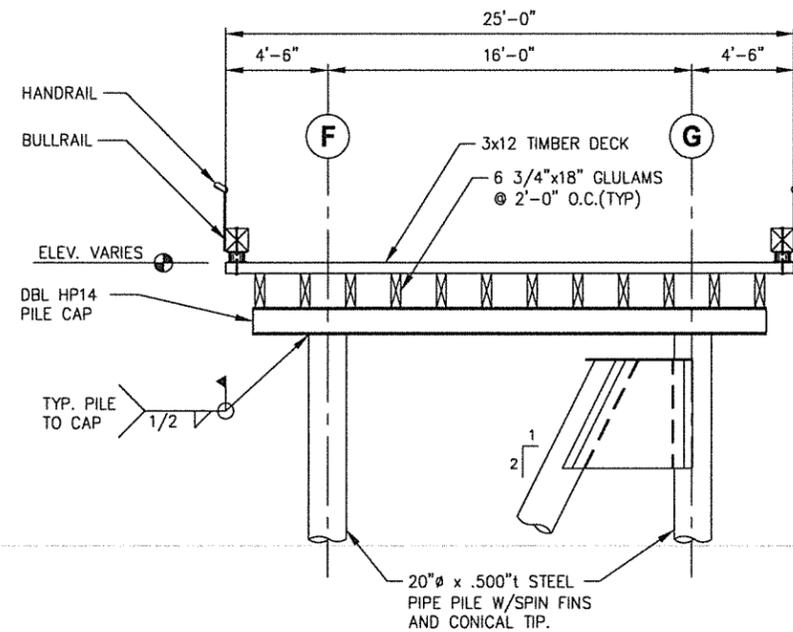
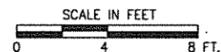
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**GANGWAY QUEUING AREA FOUNDATION  
AND FRAMING PLANS**

PND PROJECT NO.: 112048.03 DWG. FILE: --

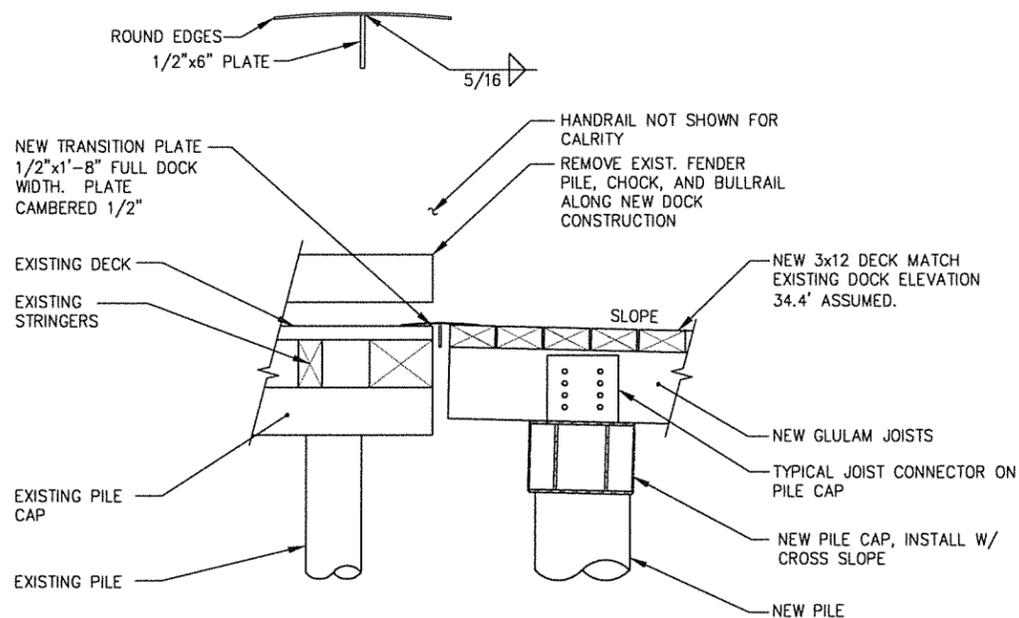
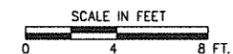
**2.03**  
SHEET  
21 OF X



**A** TRESTLE RAMP / GANGWAY LANDING SECTION



**B** TYPICAL TRESTLE SECTION



**C** EXISTING DOCK TO NEW TRESTLE TRANSITION SECTION  
NTS

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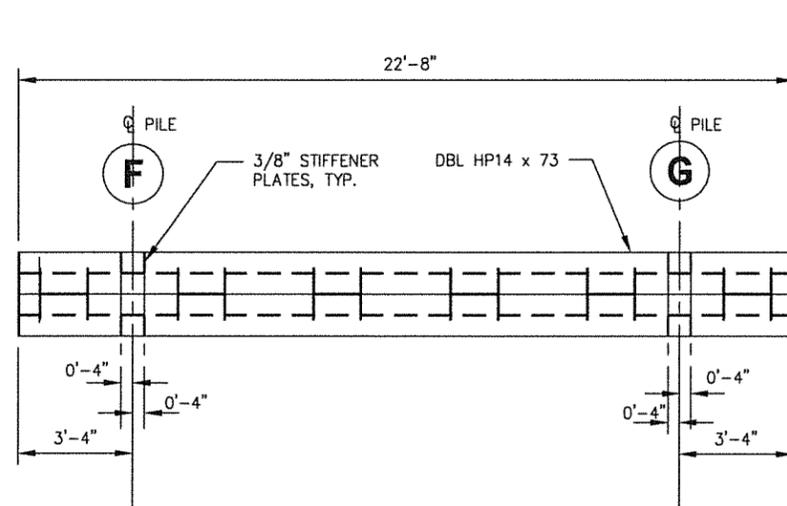
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**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

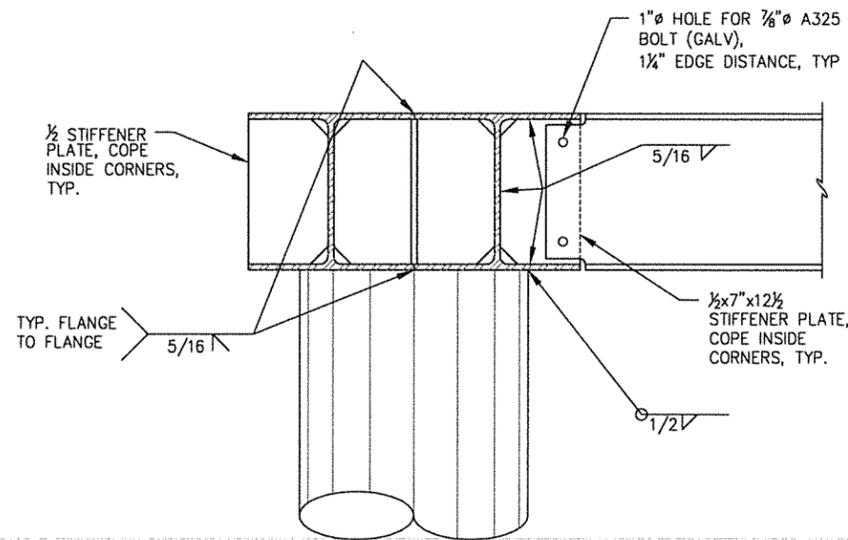
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**TRESTLE & QUEUING AREA TYPICAL SECTIONS**

PND PROJECT NO.: 112048.03 DWG. FILE: -

**2.04**  
SHEET  
22 OF X



**A** PLAN GRID 1-11 PILE CAP  
-  
NTS



**B** TYPICAL PILE CAP CONNECTION  
-  
NTS

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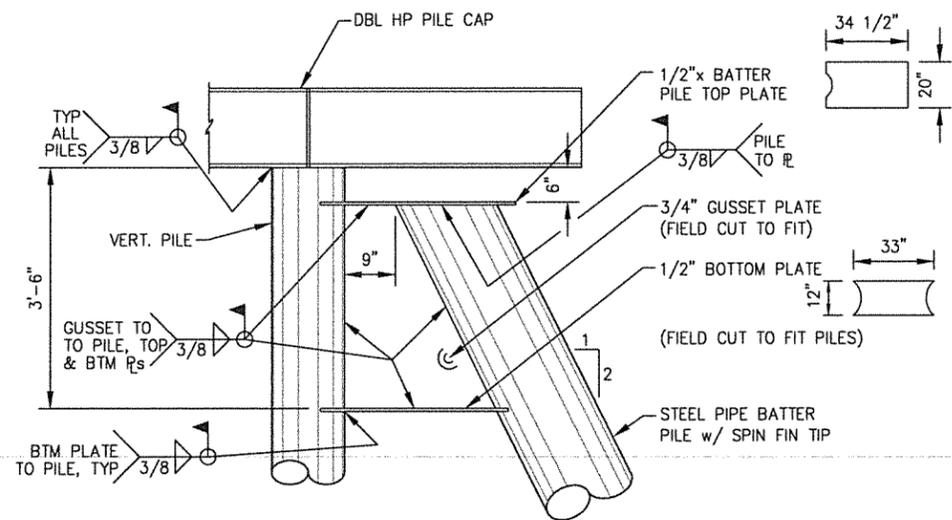
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HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2

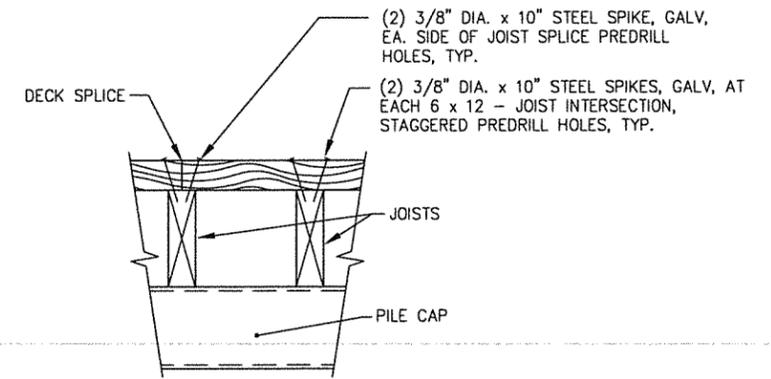
SHEET TITLE:  
PILE CAP DETAILS

PND PROJECT NO.: 112048.03 DWG. FILE: 1.03.DWG

3.01  
SHEET  
22 OF X



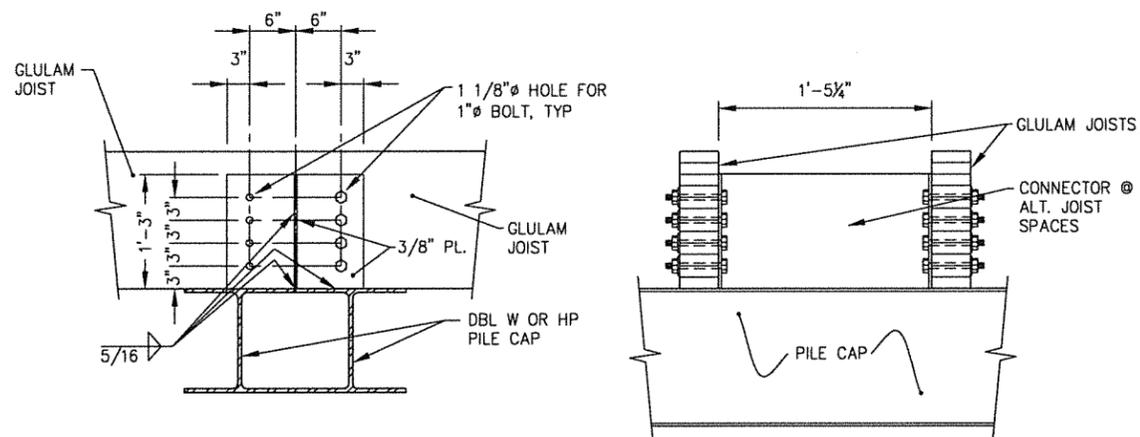
**(C) TYPICAL SIDE BATTER PILE CONNECTION**



**TYPICAL DECK TO JOIST CONNECTION**

**NOTES**

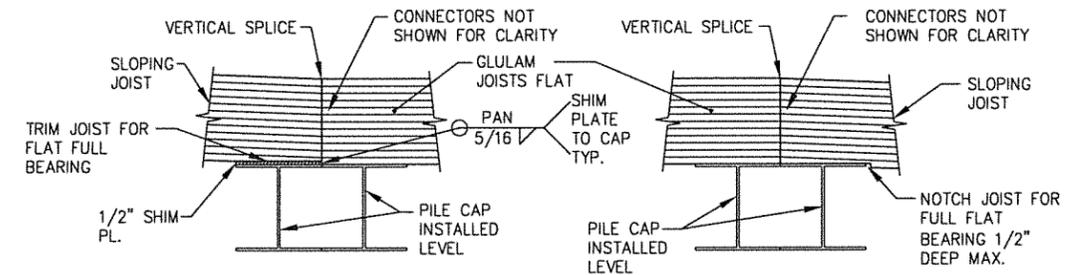
- 1.) ALL DECK TIMBER SHALL BE SUPPORTED BY A MINIMUM OF TWO JOISTS.
- 2.) DECK SHALL BE SPLICED AT RANDOM LAYOUT WITH NO TWO ADJACENT PIECES SPLICED AT SAME JOIST.
- 3.) DECK TIMBER PIECES SHALL HAVE A MINIMUM LENGTH OF 12'-0", AT BULLRAIL POST LOCATIONS.



**ELEVATION**

**SECTION**

**TYPE 1 JOIST CONNECTOR**



**SPLICE DETAIL GRID 2 AND 5**

**SPLICE DETAIL GRID 3**

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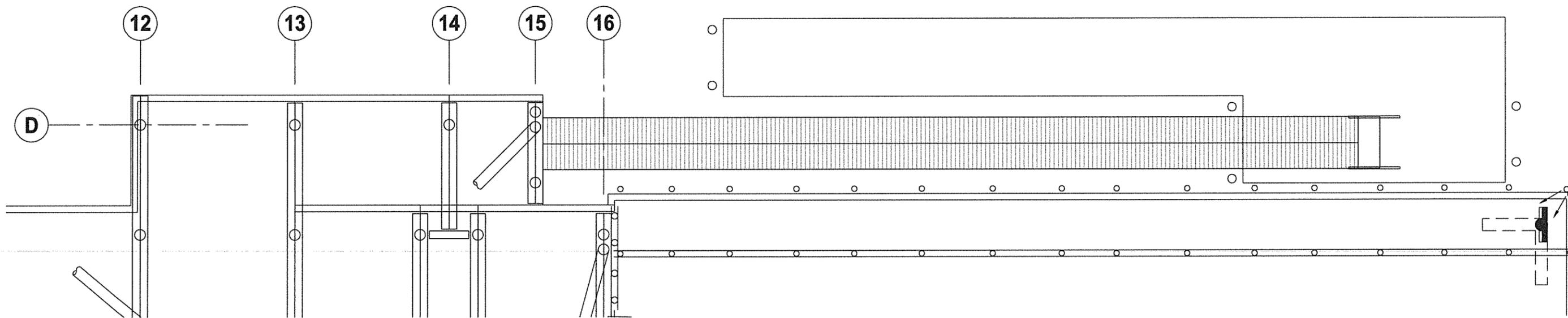
**HAINES BOROUGH  
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 IMPROVEMENTS - PHASE 2**

SHEET TITLE: **FRAMING DETAILS**

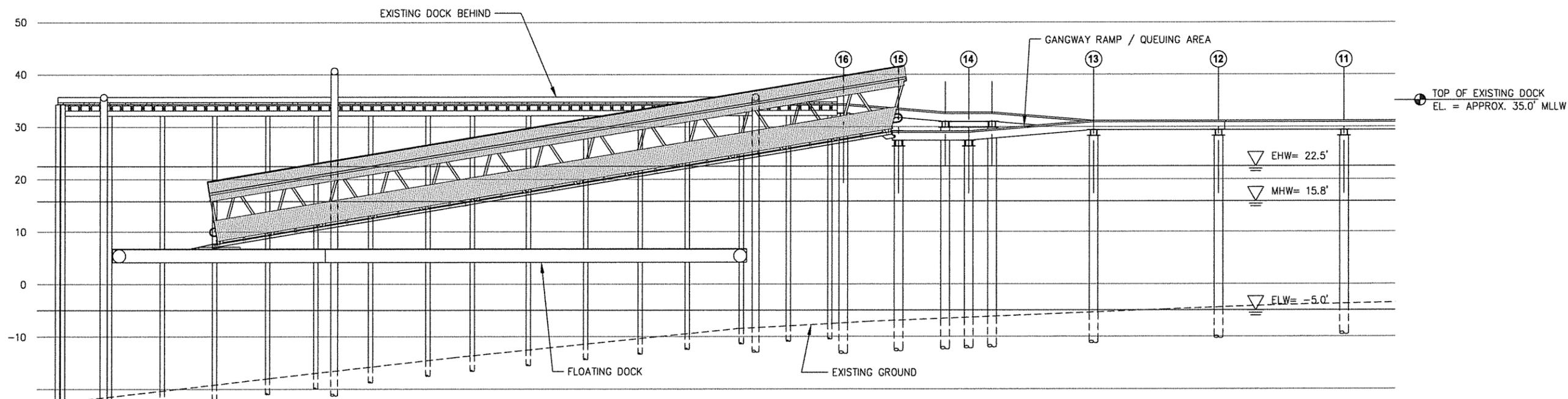
PND PROJECT NO.: 112048.03 DWG. FILE: 1.03.DWG

**3.02**  
 SHEET 23 OF X





**A** GANGWAY PLAN



**B** GANGWAY ELEVATION

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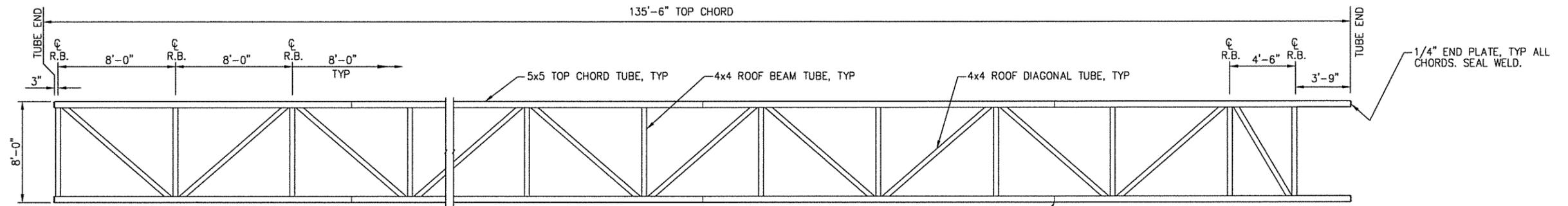
DATE: 12/21/11

**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

SHEET TITLE:  
**GANGWAY GENERAL PLAN & ELEVATION**

PND PROJECT NO.: 112048.03    DWG. FILE: 1.03.DWG

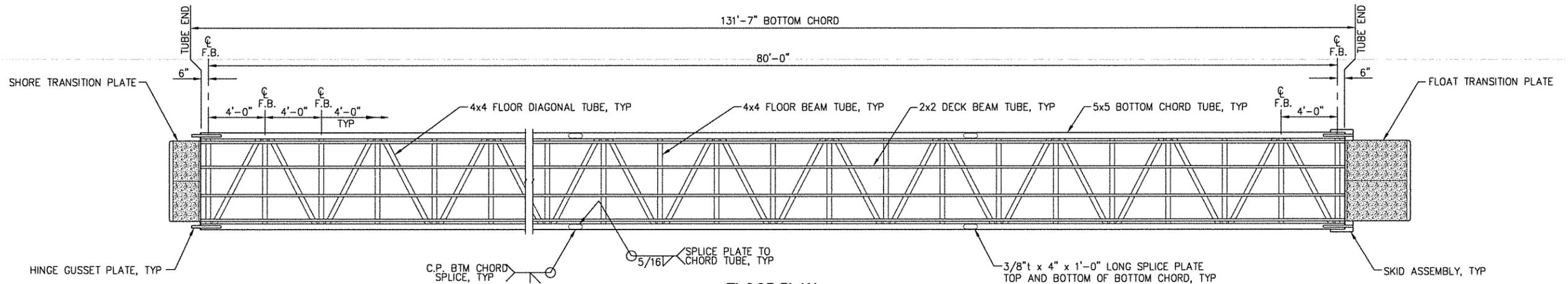
**3.05**  
SHEET  
26 OF X



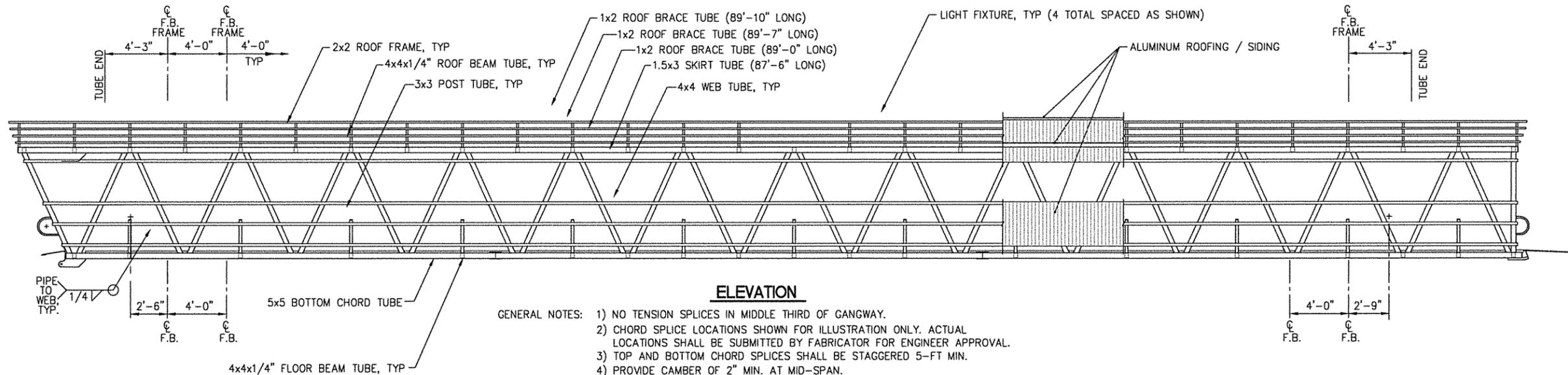
**ROOF PLAN**

NOTE: 1x2 ROOF BRACE TUBES AND 2x2 ROOF FRAME TUBES NOT SHOWN THIS VIEW FOR CLARITY.

C.P. TOP CHORD SPLICE, TYP



**FLOOR PLAN**



**ELEVATION**

- GENERAL NOTES:
- 1) NO TENSION SPLICES IN MIDDLE THIRD OF GANGWAY.
  - 2) CHORD SPLICE LOCATIONS SHOWN FOR ILLUSTRATION ONLY. ACTUAL LOCATIONS SHALL BE SUBMITTED BY FABRICATOR FOR ENGINEER APPROVAL.
  - 3) TOP AND BOTTOM CHORD SPLICES SHALL BE STAGGERED 5'-FT MIN.
  - 4) PROVIDE CAMBER OF 2" MIN. AT MID-SPAN.
  - 5) ALL MATERIALS SHALL BE ALUMINUM UNLESS OTHERWISE NOTED.
  - 6) PROVIDE WEEP HOLES AT DOWNHILL END OF ALL CHORD TUBES, DECK BEAM TUBES, ROOF BRACES, AND SKIRT TUBES. FABRICATOR SHALL SUBMIT HOLE LOCATIONS TO ENGINEER FOR APPROVAL.
  - 7) 1x2 x 87'-6" UPPER SKIRT TUBE NOT SHOWN THIS VIEW FOR CLARITY

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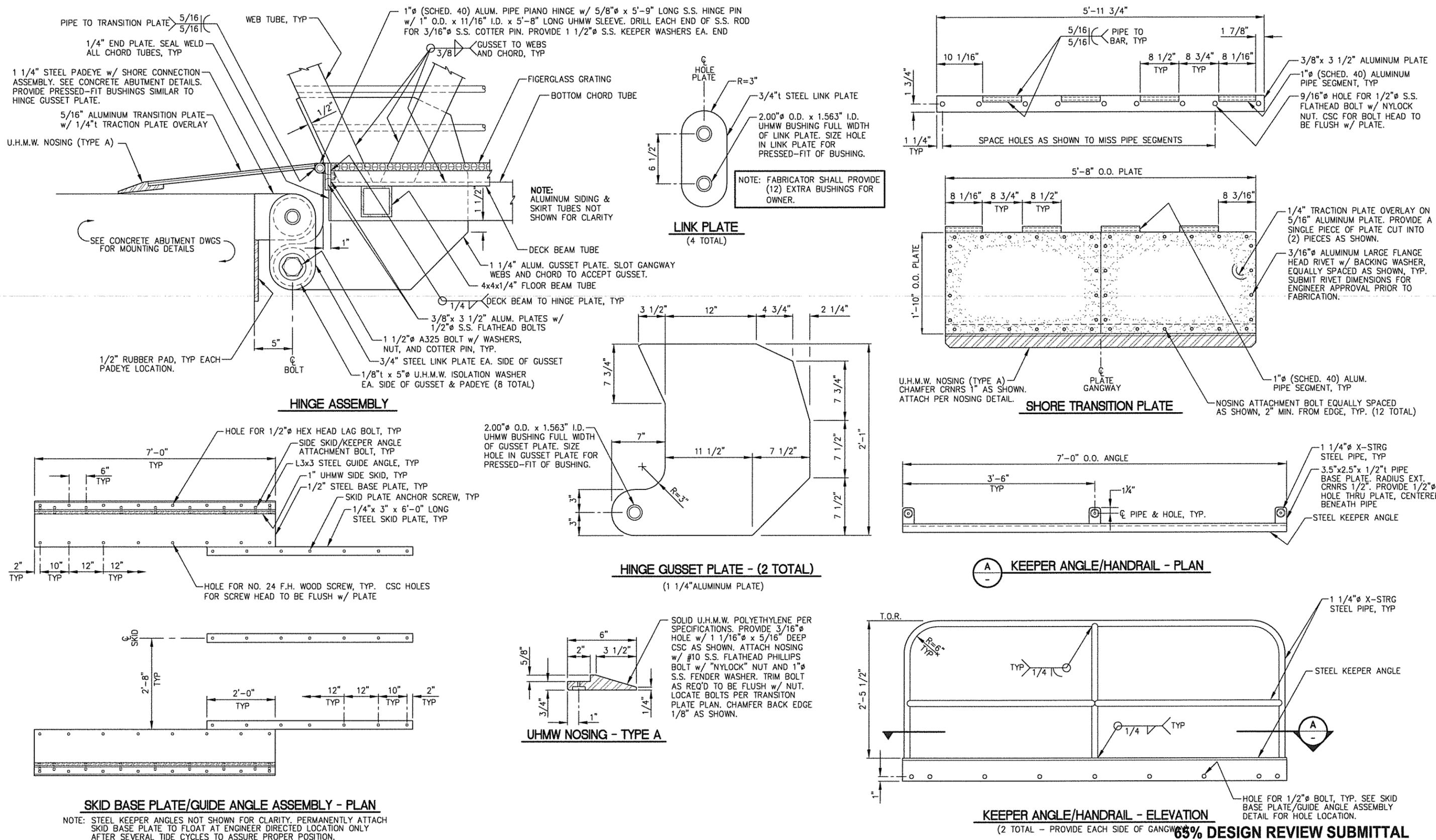
**HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2**

SHEET TITLE: **GANGWAY FRAMING  
PLAN & ELEVATION**

PND PROJECT NO.: 112048.03    DWG. FILE:

**3.06**  
SHEET 27 OF X





65% DESIGN REVIEW SUBMITTAL

REVISIONS				
REV.	DATE	DESCRIPTION	DWN.	APP.

**PND ENGINEERS, INC.**  
 9360 Glacier Highway Ste 100  
 Juneau, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pndengineers.com

DESIGN: SRY CHECKED: CRS  
 DRAWN: SRY APPROVED: CRS  
 SCALE: AS SHOWN

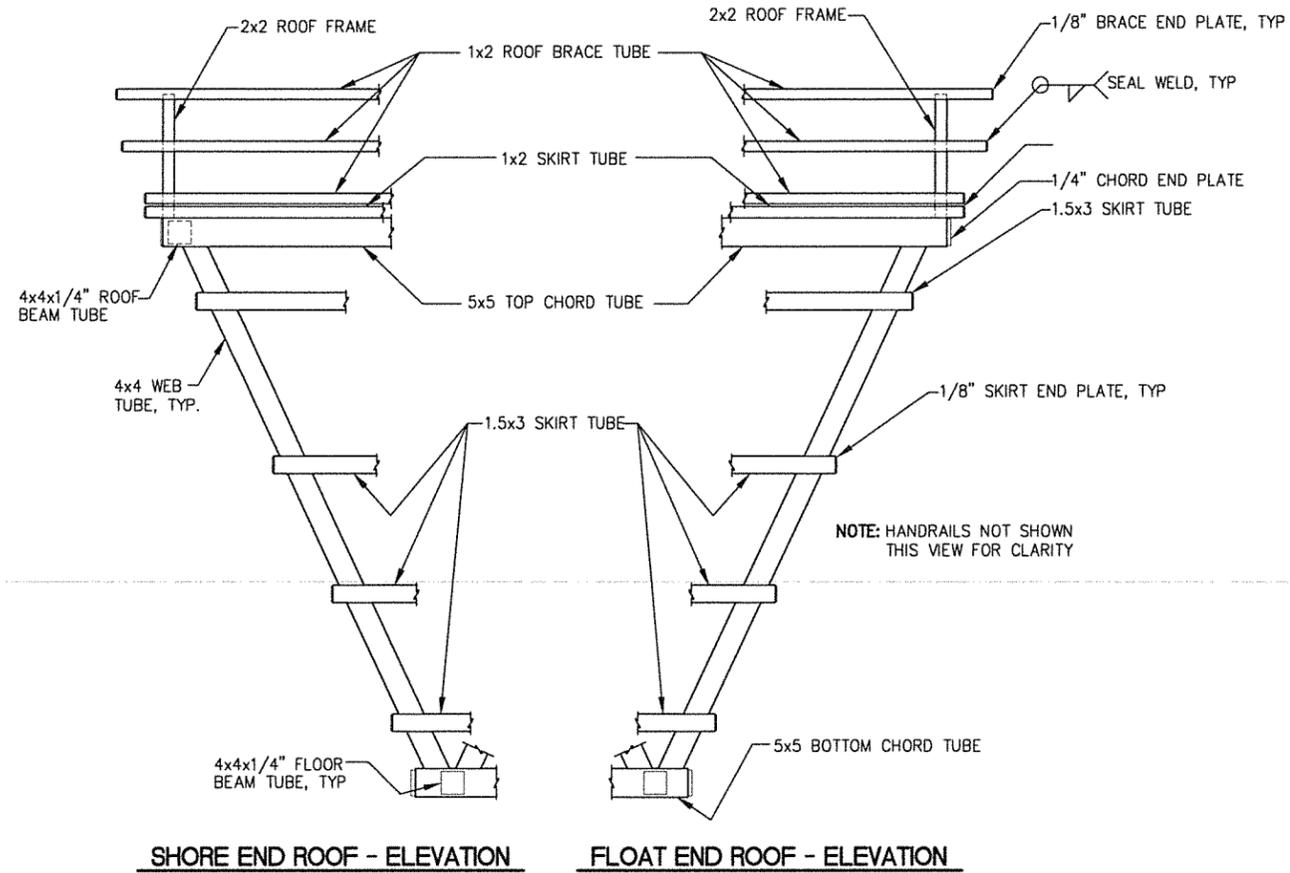
**HAINES BOROUGH PORT CHILKOOT DOCK IMPROVEMENTS - PHASE 2**

SHEET TITLE: **GANGWAY DETAILS**

DATE: 12/21/11

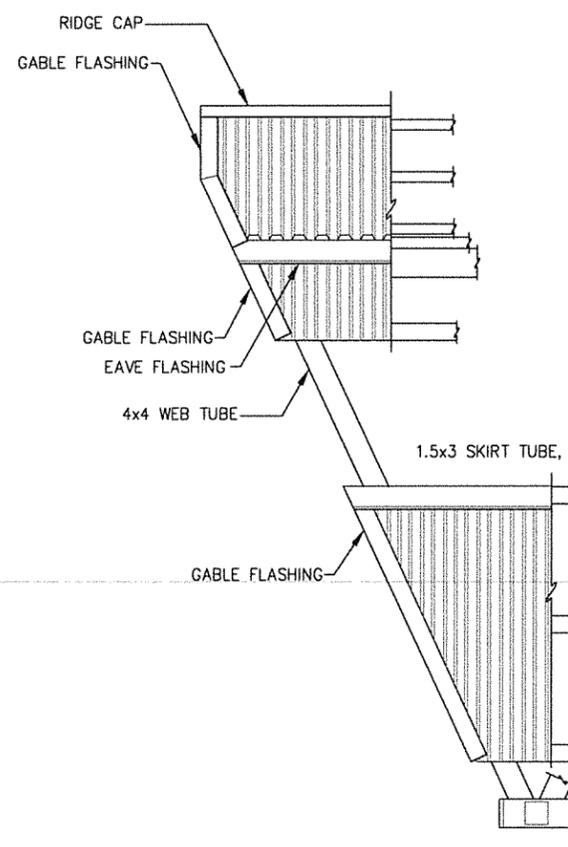
PND PROJECT NO: 112048.03 DWG. FILE:

**3.09**  
 SHEET 30 OF X

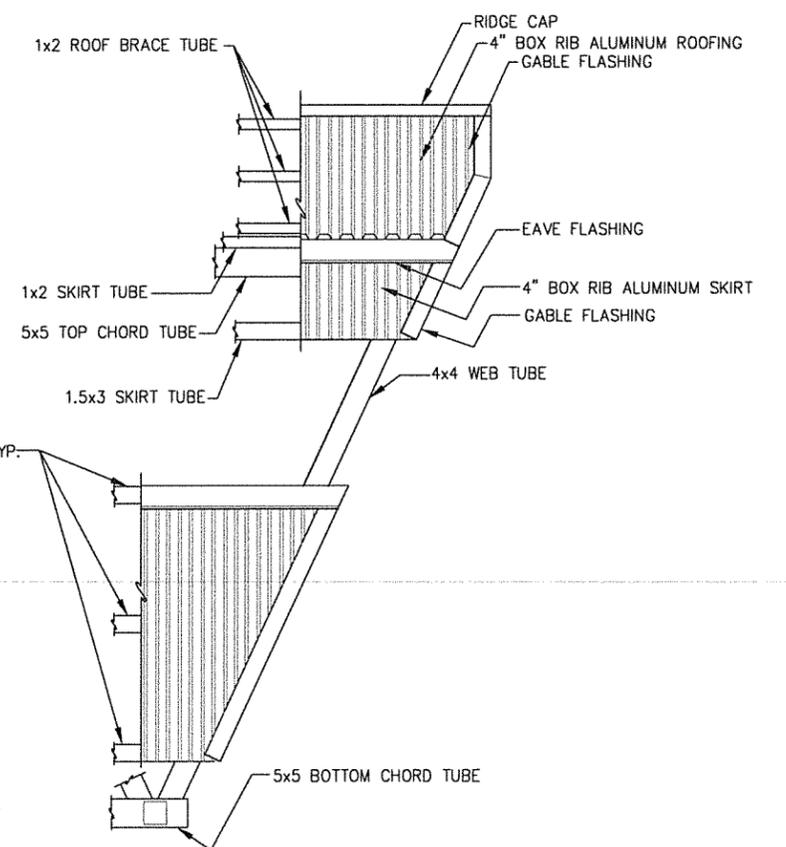


SHORE END ROOF - ELEVATION

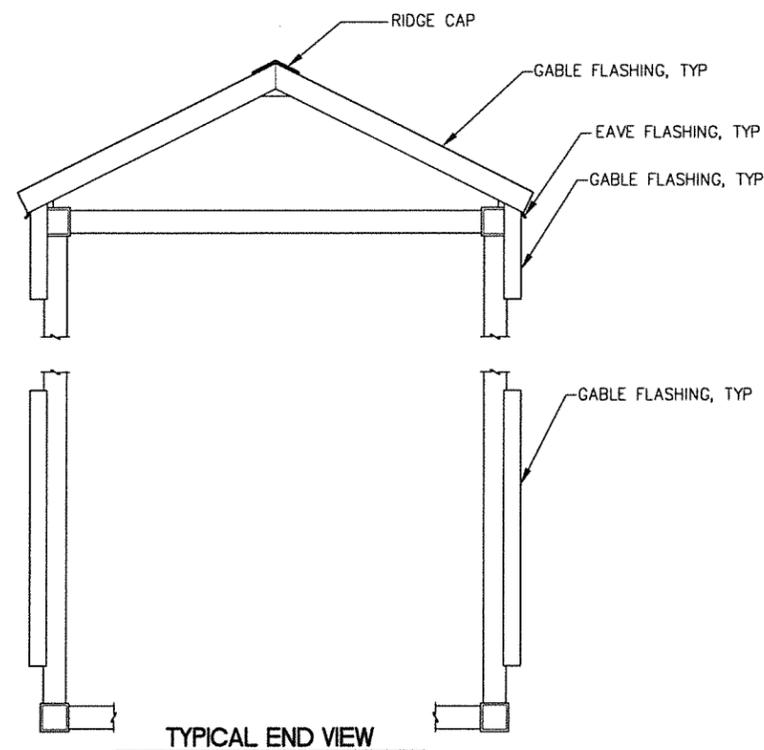
FLOAT END ROOF - ELEVATION



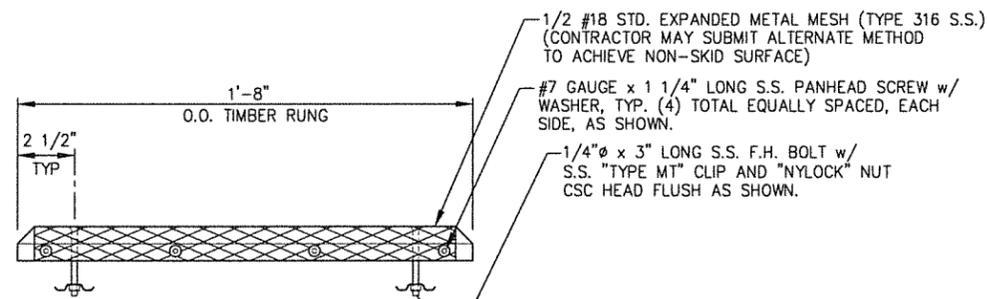
ROOFING - SHORE END ELEVATION



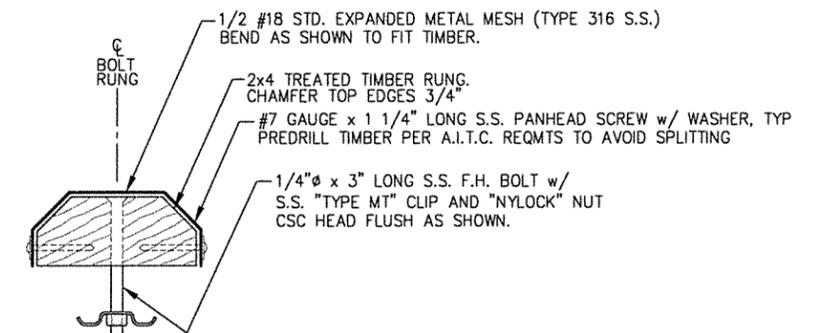
ROOFING - FLOAT END ELEVATION



TYPICAL END VIEW



RUNG - TYPICAL SECTION



RUNG - TYPICAL SECTION

65% DESIGN REVIEW SUBMITTAL

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

**P | N | D**  
ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: SRY    CHECKED: CRS    SCALE: AS SHOWN  
DRAWN: SRY    APPROVED: CRS

DATE: 12/21/11

HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2

SHEET TITLE:  
**GANGWAY DETAILS**

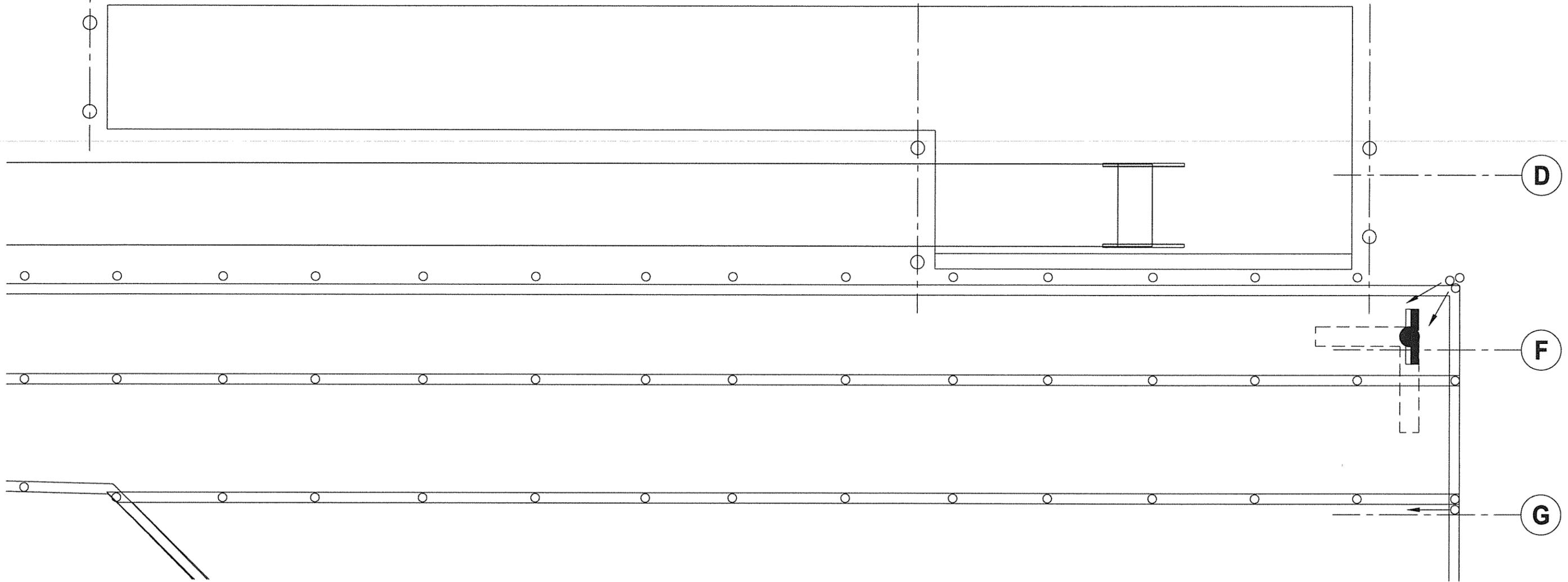
PND PROJECT NO.: 112048.03    DWG. FILE:

3.10  
SHEET  
31 OF X

17

18

19



A MOORAGE FLOAT PLAN

65% DESIGN REVIEW SUBMITTAL

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

**PND**  
ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: SRY CHECKED: CRS  
DRAWN: SRY APPROVED: CRS

SCALE: SCALE (FEET)  
0 40 80

DATE: 12/21/11

HAINES BOROUGH  
PORT CHILKOOT DOCK  
IMPROVEMENTS - PHASE 2

SHEET TITLE:  
MOORAGE FLOAT PLAN & SECTIONS

PND PROJECT NO.: 112048.03 DWG. FILE: 1.03.DWG

4.01  
SHEET  
23 OF X

# COMMUNITY WASTE SOLUTIONS

Physical Address: 227 West Fair Drive, Haines, AK 99827

Mailing Address: PO Box 575, Haines, AK 99827

RECEIVED

JAN 12 2012

HAINES BOROUGH

1/12/2012

Mark Ernest, Manager

Haines Borough

P.O. Box 1208

Haines, AK 99827

*RE: Requesting Planning Commission Review of Negotiated Land Sale per HBC-Section 14.20.100*

Dear Mr. Earnest,

Haines Sanitation, Inc. (dba-Community Waste Solutions (CWS)) seeks to purchase borough land by negotiation per Haines Borough Code section 14.20.100. Our company seeks to own the entire 19.54 acres of borough-owned land described as Lots 2, 3, 4 and 19, Section 2 T31S, R59E, CRM. This property adjoins and is down-gradient from our FAA Road landfill (C-STR-02-2100). Said property has been significantly impacted, beginning in the mid-1970's, by the location and operation of the community's only state regulated landfill.

Our company is seeking title to this property for purposes of meeting Alaska Department of Environmental Conservation (ADEC) regulatory requirements, remediate problems with the landfill's leachate treatment system and completing developments that will allow it to protect public health and safety, long-term.

### ***General Land Development Plan***

The attached plat and GIS maps identify the property and the general land-development request. Adjoining the CWS landfill, along its northern and western boundaries—in an L-shaped "Development Area" about 150-feet wide and totaling about five acres—CWS will conduct required work to meet regulatory requirements of the ADEC, as follows:

- Complete clearing and road-building to allow year-round access to clean-out points and access for a new a leachate collection/treatment system;
- Complete engineered earth-work and drain-fields to capture and divert surface/spring water from the up-gradient (east) side of the landfill and divert and discharge this water down-gradient (north) of the fill area;
- Re-engineer and re-construct the landfill's leachate collection system near the (lower-most) northwest corner of the landfill, to meet regulatory requirements of the ADEC and handle all wastewater treatment requirements of the CWS facility.

The remainder of said property—roughly 15 acres down-gradient (northerly and westerly) from the landfill and the 5-acre Development Area—will remain treed, un-developed and perpetually serve as a landfill buffer.

# COMMUNITY WASTE SOLUTIONS

Physical Address: 227 West Fair Drive, Haines, AK 99827

Mailing Address: PO Box 575, Haines, AK 99827

*Requesting Planning Commission Review of Negotiated Land Sale--Page 2 of 2*

## ***Long-Standing Need for Property***

Our desire to own said property is long-standing. Borough records will show that CWS was unsuccessful in its past effort to own these same parcels. In June, 2006, CWS Quit Claimed the property back to the Haines Borough. The company had made payments totaling about \$30,000 when it defaulted.

## ***Engineering and Water Quality Monitoring***

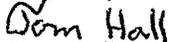
CWS is working to address ADEC concerns dealing with landfill run-off and leachate collection/treatment. Presently we are working with Joiner Engineering of Haines and Garness Engineering of Anchorage to identify development design requirements to the meet water-quality parameters of this site. We have been responsive to community concerns about discharge from the landfill and have an active contract with the Takshanuk Watershed Council as a third-party monitor. The work they are doing for CWS goes above and beyond any requirements of ADEC and they will also be assisting with field studies to determine the sizing of the leachate collection/treatment tank and leach field.

## ***The No-Action Alternative***

Our current leachate treatment tank is not working and is located directly on the CWS-Borough property line near the northwest corner of the landfill property. Without title to said property the company will be forced to undertake significantly more complex and costly earthworks to address ADEC requirements. Resolving regulatory issues without borough involvement on the land question will require CWS to move its leachate treatment and diversion system inward towards the steeply sloped western and northern edges of the landfill. This "no-action alternative" could potentially penetrate into old waste material, some dating from the mid-1970's. We feel strongly that this will produce a poor long-term outcome, one which certainly will not reflect a "Best Management Practice" and produce the best environmental result. We also expect that this approach will be much more costly to the company and to the community.

We look forward to presenting our case for a negotiated land sale to the Haines Borough Planning Commission.

Sincerely,

  
Tom Hall,

Community Waste Solution

Attachments: 1) Joiner Engineering GIS Development Map and USGS Plat Map, ~~Joiner~~  
2) Joiner Engineering Interception/Diversion Detail



**Haines Borough Administration**  
**Mark Earnest, Borough Manager**  
(907)766-2231 • Fax(907)766-2716  
mearnest@haines.ak.us

**February 9, 2012**

Planning Commission - Community Waste Solutions Negotiated Land Sale Request

I have received several inquiries regarding the Planning Commission's role as it relates to the Community Waste Solutions' request, which is currently before the Planning Commission, for a negotiated sale of Borough property near the CWS landfill. In this memorandum, I have provided responses to those questions.

1. What is the role of the Planning Commission in addressing this request?

The Planning Commission reviews the request for consistency with the Comprehensive Plan AND makes a recommendation to the Assembly as to whether the Planning Commission supports direct negotiations or competitive bidding or simply hanging on to the property.

HBC 14.20.100(B) . . . " The proposal shall be reviewed by the planning commission and thereafter forwarded to the assembly for a determination of whether the proposal should be further considered and, if so, whether by direct negotiation with the original proposer or by competition after an invitation for further proposals".

2. What are the standards by which the Planning Commission is to evaluate the "appropriateness" of the request for a NLS?

The Comprehensive Plan would provide the only standards as far as the Planning Commission is concerned. The planning issue related to this is whether the use of the property by CWS is consistent with the comp plan. From a planning standpoint the long term issue is whether the current location is a good choice for a landfill. This may be addressed in the comp. plan. It would not ordinarily be considered within the Planning Commission's role to advise on whether the Borough or a private utility should provide waste management services, whether CWS is qualified and other non land use issues.

3. Who determines whether the applicant is ready, willing and able to perform the work, if it's in the best interest in the Borough, etc.

Ultimately the Assembly. On these issues the "Land Manager" or the Borough Manager provides input to the Assembly rather than the Planning Commission. Again, the Planning Commission role should focus on the land use issues rather than an evaluation of the quality of the proposed purchaser.

As for timing, it is fine for the Planning Commission to address the proposal at the 2/9 meeting. For this meeting staff input to the Planning Commission should focus on planning/land use issue only. After Planning Commission review staff input to the Assembly would address the full universe of issues related to the proposal including: 1) public vs. private solid waste utility; 2) price and terms of the proposal; 3) past performance of CWS or its predecessor; and 4) landfill location.

BOOK 29 PAGE 503

# State of Alaska



## Patent

No. 15981

Know Ye By These Presents that the Grantor, the STATE OF ALASKA, DEPARTMENT OF NATURAL RESOURCES, 3601 C Street, Suite 950, Anchorage, Alaska 99503-5936, pursuant to AS 29.65.010-.140, and the regulations promulgated thereunder, for good and valuable consideration, now paid, the receipt whereof is hereby acknowledged, grants and conveys to the Grantee, the HAINES BOROUGH, whose mailing address of record is P.O. Box 1209, Haines, Alaska 99827, Grantee's successors and assigns, all that real property situated in the Haines Recording District, State of Alaska, and described as follows:

TRACT 10 OF ALASKA STATE LAND SURVEY NO. 71-41, CONTAINING 2.85 ACRES, MORE OR LESS, ACCORDING TO THE SURVEY PLAT FILED IN THE HAINES RECORDING DISTRICT ON DECEMBER 29, 1971, AS SERIAL NO. 71-473.

TRACT A OF ALASKA STATE LAND SURVEY NO. 83-100, CONTAINING 29.44 ACRES, MORE OR LESS, ACCORDING TO THE SURVEY PLAT FILED IN THE HAINES RECORDING DISTRICT ON FEBRUARY 6, 1985, AS PLAT 85-2.

TOWNSHIP 31 SOUTH, RANGE 59 EAST, COPPER RIVER MERIDIAN, ALASKA

SECTION 2: LOTS 1, 2, 3, AND 47, AND THE SE $\frac{1}{4}$ NE $\frac{1}{4}$ , SE $\frac{1}{4}$ SW $\frac{1}{4}$ NE $\frac{1}{4}$ , E $\frac{1}{2}$ SE $\frac{1}{4}$ , E $\frac{1}{2}$ W $\frac{1}{2}$ SE $\frac{1}{4}$ , SW $\frac{1}{4}$ SW $\frac{1}{4}$ SE $\frac{1}{4}$ , SE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ .

SECTION 11: LOTS 1, 2, 14, 20, 21, 23, 24, 26, 27, 28, AND 30, AND THE E $\frac{1}{2}$ NE $\frac{1}{4}$ , NE $\frac{1}{4}$ NE $\frac{1}{4}$ NW $\frac{1}{4}$ .

CONTAINING 520.55 ACRES, MORE OR LESS.

ACCORDING TO THE SURVEY PLAT ACCEPTED BY THE UNITED STATES DEPARTMENT OF THE INTERIOR, BUREAU OF LAND MANAGEMENT IN WASHINGTON, D.C. ON SEPTEMBER 9, 1952.

AGGREGATING 552.84 ACRES, MORE OR LESS.

Subject to:

Platted and valid existing easements and reservations.

BOOK 29 PAGE 504

A public right-of-way, 20 feet wide, ADL 52024.

An easement, 50 feet from centerline, for the Small Tract Road in Lot 47.

An easement, 50 feet from each side of centerline, for the Small Tract Road in Lot 14.

A public access easement, 50 feet wide, upland of the mean high water line of Chilkat Inlet in Lots 24 and 30.

An easement, 50 feet each side of the section line, dedicated to the State of Alaska for public highways under AS 19.10.010.

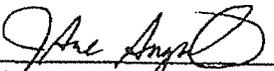
Net chargeable acreage under AS 29.65.010 is 552.84 acres, more or less.

*Save and Except*, those restrictions appearing in the Federal Patent or other conveyance by which the Grantor acquired title;

*And Further*, the Grantor hereby expressly saves, excepts and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, all oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils of every name, kind or description, and which may be in or upon said lands above described, or any part thereof, and the right to explore the same for such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and it also hereby expressly saves and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right to enter by itself, its or their agents, attorneys, and servants upon said lands, or any part or parts thereof, at any and all times for the purpose of opening, developing, drilling, and working mines or wells on these or other lands and taking out and removing therefrom all such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and to that end it further expressly reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right by its or their agents, servants and attorneys at any and all times to erect, construct, maintain, and use all such buildings, machinery, roads, pipelines, powerlines, and railroads, sink such shafts, drill such wells, remove such soil, and to remain on said lands or any part thereof for the foregoing purposes and to occupy as much of said lands as may be necessary or convenient for such purposes hereby expressly reserving to itself, its lessees, successors, and assigns, as aforesaid, generally all rights and power in, to, and over said land, whether herein expressed or not, reasonably necessary or convenient to render beneficial and efficient the complete enjoyment of the property and rights hereby expressly reserved.

*To Have And To Hold* the said land, together with the tenements, hereditaments, and appurtenances thereunto appertaining, unto the said Grantee and Grantee's successors and assigns forever.

*In Testimony Whereof* the State of Alaska has caused these presents to be executed by the Director of the Division of Land, Department of Natural Resources, State of Alaska, pursuant to delegated authority, this 15th day of May, 1987.

By:   
Janie Angvik, Director  
Division of Land

BOOK 29 PAGE 505

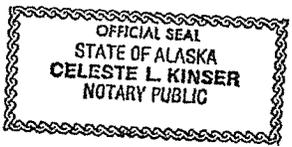
State of Alaska )  
 ) ss.  
Third Judicial District )

This Is To Certify that on the 15th day of May, 1997, appeared before me JANE ANGVIK, who is known to me to be the Director of the Division of Land, Department of Natural Resources, State of Alaska, to execute the foregoing document; that Jane Angvik executed said document under such legal authority and with knowledge of its contents; and that such act was performed freely and voluntarily upon the premises and for the purposes stated therein.

Witness my hand and official seal the day and year in this certificate first above written.

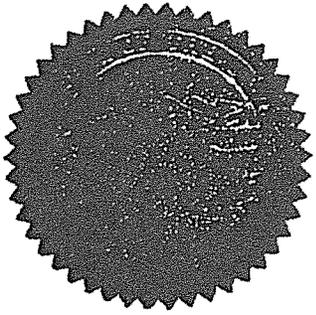
Celeste L. Kinser  
Notary Public in and for the State of Alaska

My commission expires: April 4, 2001



97-277

21.00  
HAINES REC. DIST  
DATE 6-4 1997  
TIME 1:38 P.M.  
Requested By HAINES BORO  
Address \_\_\_\_\_



Patent No. 15981  
ADL No. 101523  
Location Index:  
T. 28 S., R. 54 E., C.R.M.  
Section 23  
T. 31 S., R. 59 E., C.R.M.  
Sections 2, 11 and 13

Please Return Original To:  
Haines Borough  
Box 1209  
Haines, AK 99827

HAINES BOROUGH PLANNING COMMISSION  
MEETING, #56  
AUGUST 14, 1997

Chairperson, John Brower, called the meeting to order at 6:40 p.m. in the City Council Chambers.

**ROLL CALL:** John Brower, Alan Traut, Hugh Rietze, Keith Burke, Dave Nanney; Brian Johnson and Jim Szymanski absent.

ROLL CALL

**STAFF PRESENT:** Dan Turner and Connie Staska

**VISITORS:** George Figdor, Scott McClintock, Susan McClintock, Tim McDonough and David Sneed.

**M/S: TRAUT/RIETZE** to approve minutes of 6/26/97 and 7/10/97. Motion passed.

APPROVAL OF  
MINUTES

Brower informed the Commission that he may have to resign as Chairman due to his recent appointment as Assistant Land Manager/Planner for the Borough. He will continue to be present at Commission meetings as a liason between the Borough office and the Planning Commission. Following discussion, Brower felt it appropriate to step aside as Chairman as of 10/01/97; Commission will try to fill the Chair's position at the September meeting.

STATUS OF  
CHAIRMANSHIP

**STAFF REPORT:**

Turner reported that Lynda Walker has submitted a letter requesting a negotiated landsale of lots 2,3,4,18 & 19 of Township 31S, Range 59E which would provide a safety buffer zone adjacent to the landfill. Following discussion, members agreed to request the Borough Assembly to postpone a decision on the sale until additional information can be acquired from DEC regarding buffer zone requirements.

NEGOTIATED SALE  
REQUEST FROM  
HAINES SANITATION

McClintock reported that the Duncan's camp subdivision plat is final to date; the Commission needs to decide on covenants (if any) for the area so the Assembly can approve the plat. He recommended that further subdividing of the lots be restricted. Comments were made by Burke regarding reasonable access to all the lots.

MCCLINTOCK REPORT

McClintock reported that the Carr's Cove subdivision plat is complete with modifications regarding additional easements for utility and shared driveways. It was determined that an access road running parallel to the MudBay highway was not necessary.

**PUBLIC PARTICIPATION:**

Tim McDonough asked the Commission whether they were going to comment on Ordinance 97-16 and if so were they going to make those comments known to the Assembly. Brower indicated that Ord.97-16 is going to be re-introduced in its original form (copy of that was not available at the time of the meeting.) George Figdor commented that MBLUSA Board has discussed Ordinance 97-16 at their past two meetings. They have submitted a two page letter to the Borough regarding their comments and suggestions. Figdor also commented on Carr's Cove regarding joint driveways for public safety reasons and encouraged more study of a parallel access road.

Chair ended Public Comment period.

**OLD BUSINESS:**

Brower reported that the Assembly at their last meeting requested the Commission to review the Covenants for Carr's Cove and make them less restrictive. Rietze will concede on the covenant regarding building construction period, but not the "animal, livestock and poultry" covenant. Traut agreed with Rietze that the animal restrictions should apply in a residential area. Traut liked the idea of a neighborhood association dealing with issues as they arise. Nanney agreed with the suggestions and leaving the building restriction open-ended.

REVIEW OF CARR'S  
COVE COVENANTS

**By general consent, members agreed that the covenant regarding animal restrictions should remain as originally recommended by the Commission on 7/1/97.**

**By general consent, members recommended deleting the two year restriction on completion of building construction and leaving it open-ended.**

Figdor recommended that one of the covenants should include a greenbelt area along the road property lines; a setback does not insure a greenbelt area. Turner commented that a buffer zone along the road does not work on Lots 11 & 12. A greenbelt area could be addressed by the neighborhood association.

**Carr's By general consent, there will be no restrictions that require chipcoating on the driveways.**

**By general consent, members approved the Cove plat as presented.**

APPROVAL OF  
CARR'S COVE PLAT

Chairman presented Duncan's Camp Plat for discussion and approval. Burke recommended Lots 6 & 7 be kept as a public reserve because of the lots being at the mouth of Duncan's Creek. Turner commented that he is getting no objections for the subdivision from locals or others interested in the property because the property is surrounded by public beach for access. Members discussed allowing for access along the Creek and to the back lots. Burke would like the commission to look at how this subdivision is going to impact the overall area. He is concerned about waste water systems for this area and enforcement of DEC regulations.

DISCUSSION OF  
DUNCAN'S CAMP  
PLAT

At the previous meeting the Commission agreed not to have 4-wheeler access along the stream.

**M/S: TRAUT/RIETZE** to approve Duncan's Camp plat with the amendment allowing for a 40' access and utility easement along the back of Lots 1,8,7 &6 with a 10-15' feasible access for 4 wheelers. Rietze, Traut and Brower – Yes; Burke – No.

APPROVAL OF  
PLAT

(At 9:15 p.m., it was necessary for D. Nanney to excuse himself from the meeting.)

**M/:** BURKE/ proposed that Lots 6 & 7 of Duncan's Camp be reserved for common public use. Motion denied due to lack of a second.

**M/:** BURKE/ that Lots 6 & 7 of Duncan's Camp be classified as single family residential. Motion denied due to lack of a second.

**M/S: TRAUT/RIETZE** to classify Duncan's Camp Subdivision as light commercial and rural residential. Rietze, Traut and Brower – Yes; Burke – No, due to concerns with Lots 6 & 7 as a sensitive area.

CLASSIFICATION OF  
DUNCAN'S CAMP AS  
LIGHT COMMERCIAL  
AND RURAL RESID.

**M/S: TRAUT/RIETZE** to apply the covenants from Four Winds Subdivision, excluding the parking covenant, to Duncan's Camp. Rietze, Brower and Traut – Yes; Burke – No.

APPROVAL OF  
COVENANTS FOR  
DUNCAN'S CAMP

Discussion followed on Ordinance 97-16 and the current wording being introduced at the next Borough Assembly meeting. If adopted, the Commission will take on the role as the Land Use Service Area Board. Traut's opinion is that this ordinance ~~not~~ does not fall within the scope of a third class borough; Burke agreed with Traut. Rietze liked the idea of the Planning Commission serving as the land use board, but would like to know more about it.

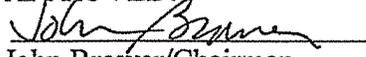
DISCUSSION OF  
ORD. 97-16

Page 4  
H.B.P.C. 8/14/97

The Commission agreed to meet on 9/11/97 at Skyline Estates at 6:00 p.m. in order to view the subdivision prior to the sale; regular meeting will follow at the city council chambers (or other designated area) at 7:30 p.m. Meeting adjourned at 10:10 p.m.

ADJOURNMENT

APPROVED:

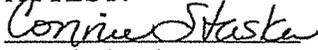
  
John Brower/Chairman

DATE: September 11, 1997

---

Haines Borough Planning Commission

ATTEST:

  
Connie Staska  
Recording Secretary

*Special* HAINES BOROUGH ASSEMBLY  
~~REGULAR~~ MEETING #603  
SEPTEMBER 4, 1997  
7:30 P.M.

CALL TO ORDER: Mayor Lapp called the meeting to order at 7:36 p.m.

PLEDGE TO FLAG: Led by Mayor Lapp.

ROLL CALL: Present - Shirley Willard, Bill Thomas, Charles DeWitt, Gary Koenig, Karen Hess & Debra Schnabel.

---

Staff Present: Dan Turner, Assessor & Jacki Martin, Clerk/Treasurer.

Visitors: Darrell Maple, Donna MacKenzie, Scott Ramsy, David Knight, Carol Knight, John Floreske, Jr., Don Bergstrom, Bob Becker, Dave McKenzie, Dick Aukerman, Ann Myren, Grantley Moore, Daphne Ormerod, Norman Hughes, Jan Hill.

APPROVAL OF CONSENT AGENDA:

M/S Willard/DeWitt to approve the consent agenda with a correction of the June 17<sup>th</sup> minutes under roll call. A period was added after Gary Koenig's name eliminating the comma to show clearly who was excused.

Motion carried unanimously on a roll call vote.

Motion carries to approve consent agenda.

MAYOR'S REPORT: The mayor announced that Capital Project request were due in to him before the October 21<sup>st</sup> meeting.

Capital Project list due.

Mayor Lapp read a letter from Alaska Surveying, Inc. recommending the Mt. Riley Rd. Project be awarded to S.E. Road Builders, Inc. because their proposal was more specific concerning stages of the project and was more detailed.

Mt. Riley Rd. Project awarded to Southeast Road Builders.

M/S Hess/DeWitt to accept Southeast Road Builders bid on the Mt. Riley Road project.

Motion carried unanimously on a roll call vote.

Motion carries.

A bridge can be purchased for EXI in the amount of \$57,400.00 from Big R Manufacturing in Colo.

EXI bridge.

HAINES BOROUGH ASSEMBLY  
REGULAR MEETING #603  
SEPTEMBER 4, 1997

The bridge is 110 feet long and would be delivered to Wards Cove. Ak. Surveying will present other bids for the Assembly to review at the next meeting.

Excursion Inlet  
bridge, cont.

Mayor Lapp requested approval from the Assembly to hire John Brower as Assistant Land Manager/Planner and George Mark as the Museum Education Coordinator.

M/S Schnabel/Koenig to hire George Mark and John Brower.

Motion to hire  
George Mark & John  
Brower

Motion carried unanimously on a roll call vote.

Motion carries

**AUDIENCE PARTICIPATION:** Stephanie Scott asked if the information regarding the intentions of the MBLUSA was on the agenda. Mayor Lapp informed her it would be brought up under Ordinance #97-19.

**MUSEUM REPORT:** Presented by CJ Jones.

**LIBRARY REPORT:** Presented by Ann Myren.

Scott McClintock gave a progress report on the Skyline Estates project. Additional costs have been approved by the Mayor, in the approximate amount of \$32,000.00, for modification in design to maintain viability of the roadway. Over runs on the project, at this point, will be approximately \$55,000.00

Progress report on  
Skyline Estates by  
Scott McClintock

The City of Haines requires developers to post a bond before approval of a final plat for sale. Dan Turner said they require property of equal value of the remaining portion of the project, which would be \$627,000.00. Mr. Turner suggested offering the City the lots at Carr's Cove, which were not in this year's sale.

Mr. Turner also requested a shut down of the project for a few days prior to the sale in order for prospective bidders to view the lots.

Ms. Schnabel agreed with Mr. Turner's request if the contractor was in agreement. The Assembly and Mayor directed Mr. Turner to work with the

HAINES BOROUGH ASSEMBLY  
REGULAR MEETING #603  
SEPTEMBER 4, 1997

contractor on time that is needed.

M/S Schnabel/DeWitt that the identified property at Carr's Cove be used as collateral for a \$627,000.00 performance bond with the City.

Motion carried unanimously on a roll call vote.

CORRESPONDENCE: Mayor Lapp referenced a letter from Haines Sanitation requesting a negotiated sale of land around the dump to be used as a buffer zone. The dump currently is on lots 20 & 21 and City land they would like lots 2,3,4,5, & 18 and are requesting purchase of lots 2 & 3 from the Borough. The Borough would have to select lots 4,5,18 & 19 from the State through the municipal selection and in turn sell them to Haines Sanitation. Discussion concerned the advisability of selecting less valuable land around the dump versus more valuable land in another area.

The matter was turned over to Dan Turner for discussion with the Planning Commission.

Ms. Schnabel stated she would not be opposed to the negotiated sale if restrictions were placed on it.

Mayor Lapp directed Mr. Turner to discuss the matter with Lynda Walker of Haines Sanitation.

INTRODUCTION OF ORDINANCES: Mayor Lapp read in part Ordinance #97-16 as an ordinance making the Haines Borough Planning Commission the Board for all Land Use Service Areas.

M/S Hess/Willard to accept the introduction of Ordinance #97-16.

Motion failed on a roll call vote.

A workshop will be scheduled with the LUSA's, Planning Commission and Assembly before the next Assembly meeting.

PUBLIC HEARINGS: Ordinance 97-19 was read in part by the Mayor, as an ordinance scheduling

Motion to use lots at Carr's Cove as collateral for the required City performance bond on the Skyline project.

Motion carried.

Haines Sanitation letter requesting purchase of land from Borough for use as buffer zone at dump.

Motion to introduce Ordinance 97-16 for P/H.

Motion failed.

Workshop scheduled For P/C, LUSA's & Assembly

HAINES BOROUGH PLANNING COMMISSION  
MEETING, #57  
SEPTEMBER 11, 1997

Chairperson, John Brower, called the meeting to order at 7:35 p.m. in the Haines Borough Public Library.

**ROLL CALL:** John Bower, Alan Traut, Keith Burke, Dave Nanney , Jim Szymanski and Brian Johnson. Member Hugh Rietze absent.

ROLL CALL

**STAFF PRESENT:** John Brower and Connie Staska.

**VISITORS:** None.

**M/S: SZYMANSKI/BURKE** to approve the minutes of 8/14/97 with the addition of "John Brower" to the Roll Call. Motion passed.

APPROVAL OF  
MINUTES

**PUBLIC COMMENT:** None.

**OLD BUSINESS:**

Brower reported on the request by Lynda Walker d/b/a Haines Sanitation for a negotiated land sale. The Assembly took action at the 9/4/97 borough meeting by directing the Assessor to proceed with a negotiated sale with Haines Sanitation for Lots 2 and 3. The Assembly stipulated that if the lots are ever resold they have to be sold in conjunction with the landfill and not as residential lots. Brower suggested that members should review Ordinance 95-15 regarding negotiated land sales in order to follow the process. Burke asked the status of the remainder of the lots requested in Walker's letter; Brower to check with Turner for clarification

UPDATE ON  
NEGOTIATED SALE  
WITH HAINES  
SANITATION

**NEW BUSINESS:**

The Commission addressed the letter from Evan and Marge Haynes dated 8/26/97 regarding exclusion from MBLUSA. When the boundaries of the Mud Bay Service Area were changed by Ordinance 96-15, his property was split with part of it being removed and a section remaining inside the service area. The Haynes are requesting that all of their properties be removed from the Service Area. Brower suggested the Commission may want to review other boundaries at Mud Bay where properties are split and receive comment from those individuals affected by this. Burke is concerned about opening a can of worms and suggested that boundary lines not be redrawn in a piecemeal fashion. He would like to have the process defined by the Assembly. Szymanski recommended that Haynes be allowed to withdraw since his properties are split and on the edge of the service area. Nanney commented that in other cases where the property is split, the owners may want to be

DISCUSSION ON  
REQUEST BY MARGE  
& EVAN HAYNES FOR  
BOUNDARY CHANGE

included in the service area. He suggested that the Assembly define the basis of the process for dealing with service areas and to have a mechanism for both circumstances.

MOTION TO RECOMM.  
A BOUNDARY CHANGE  
FOR THE HAYNES

**M/S: SZYMANSKI/TRAUT** to recommend to the Borough Assembly that the request by Evan Haynes to change the boundary and be removed from the MBLUSA be approved and to then let the assembly proceed with the boundary change process. Traut, Szymanski and Brower – Yes; Burke and Johnson – No. Motion passed 3 to 2.

Brower commented on the status of the Chairmanship. As of 10/01/97, he no longer will be the chair. However, he will be at the meetings as a staff member, but could also be a committee member. Discussion followed on the chair's position and interest among the remaining commission members.

Brower reported that he will be starting to work on planning issues and the Borough Comprehensive Plan after September. Further discussion with members will be included on the next meeting's agenda.

Discussion followed on the Chilkat Peninsula Commercial Planning Committee. A wide range of people have been meeting to come up with recommendations based on a consensus and these have been presented to the Borough Assembly. The Assembly referred the recommendations back to the Planning Commission to hold public meetings/hearings. Brower proposes to look at these recommendations along with the Comprehensive Plan, Title 5 & 7, and defining land use classifications.

DISCUSSION ON  
CHILKAT PENIN.  
COMMITTEE PL.  
COMMITTEE

For the record, Burke requested that the travel budget for the Excursion Inlet representative be supplemented so he can participate in workshops/meetings involving the Comprehensive Plan.

Next meeting is scheduled for either 10/9 or 10/16/97. Meeting adjourned at 9:10 p.m.

ADJOURNMENT

APPROVED:

John Brower  
John Brower/Chairman  
Haines Borough Planning Commission

ATTEST:

Connie Staska  
Connie Staska  
Recording Secretary

DATE: 10-16-97

**HAINES BOROUGH PLANNING COMMISSION  
MEETING #58  
OCTOBER 16, 1997**

Chairman, John Brower, called the regular meeting to order at 6:40 p.m. in the City Council Chambers.

**ROLL CALL:** John Brower, Alan Traut, Hugh Rietze, David Nanney and Keith Burke. Members absent were Jim Szymanski and Brian Johnson.

ROLL CALL

**STAFF PRESENT:** Connie Staska

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**VISITORS:** Scott McClintock, Susan McClintock and David McKenzie.

**M/S: RIETZE/BURKE** to approve the minutes of 9/11/97 as amended to clarify Burke's comments regarding boundary changes under New Business. Motion passed.

APPROVAL OF  
MINUTES AS AMENDED

**M/S: NANNEY/BURKE** to approve the agenda with the addition of "MBLUSA Ordinance" discussion under New Business. Motion passed.

APPROVAL OF  
AGENDA

**OLD BUSINESS:**

Members discussed the status of the negotiated sale with Haines Sanitation and the memorandum from Dan Turner, dated 10/14/97, regarding the estimated fair market value for Lots 2 and 3 adjacent to the current landfill.

**M/S: TRAUT/RIETZE** to approve the negotiated land sale with Haines Sanitation. Motion passed.

NEGOTIATED LAND  
SALE WITH HAINES  
SANITATION

Members discussed the negotiated land sale with Greg Bigsby and Beth MacCready; it was clarified that the value in Turner's memorandum of 10/14/97, does represent fair market value based on the sales for the Carr's Cove lots.

**M/S: TRAUT/BURKE** to approve the negotiated sale with Greg Bigsby and Beth MacCready. Motion passed.

NEGOTIATED LAND  
SALE WITH BIGSBY/  
MACCREADY

**M/S: RIETZE/BURKE** to nominate Alan Traut as chairperson of the Planning Commission. Motion passed. Traut will take over as chairperson at the next meeting.

NEW BUSINESS:

Brower commented on the status of the Excursion Inlet land swap with Ward's Cove, which is in the preliminary stages of negotiations. Turner has been instructed to proceed with projecting values for the land swap, which involves an exchange for some uplands and tidelands. By referring to a map, Burke gave a brief summary of the area being discussed for this negotiation. McClintock commented that Ward's Cove wants to consolidate its properties in order to have the least impact on the facilities at Excursion Inlet.

EXI LAND SWAP  
UPDATE

McClintock reported the Borough Assembly has authorized a new bridge at Excursion and one has been ordered. The support structures are being redesigned to accommodate it and permitting requirements are being processed; bid packages for installation should be ready prior to next spring. Burke expressed disappointment that Excursion residents were not polled for local input regarding the bridge. He is concerned with locating the new bridge at the end of the existing airstrip instead of further upstream.

EXI BRIDGE UPDATE

Members discussed classifying the remainder of Borough owned lands in conjunction with comments and suggestions on ways to proceed with updating the Comprehensive Plan. Following this discussion, members scheduled a workshop for Thursday, October 30<sup>th</sup>, at 6:30 p.m. to work on questions and issues for a survey.

Meeting adjourned at 8:50 p.m.

ADJOURNMENT

APPROVED:

DATE:

John Brower  
John Brower/Chairman  
Haines Borough Planning Commission

11-10-97

ATTEST:

Connie Staska  
Connie Staska  
Recording Secretary

**HAINES BOROUGH  
PLANNING COMMISSION  
MEETING # 70  
DECEMBER 7<sup>th</sup>, 1998**

**CALL TO ORDER:** Chairman Brian Johnson called the meeting to order at 4:09 PM in the City Council Chambers.

**ROLL CALL:** Brian Johnson, Hugh Rietze, Dave Nanney, Paul Nelson, and Scott McClintock present. Debbie Gordon and Jim Szymanski absences excused. Quorum is established.

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**STAFF:** John Brower

**VISITORS:** Lynda Walker

**APPROVAL OF AGENDA:** By general consent, it was noted to approve the agenda of the three items for the order of business.

**APPROVAL OF MINUTES:** The Commission did not have previous minutes to review/approve.

**PUBLIC COMMENT:** Ms. Walker reserved her comments until the Haines Sanitation agenda topic.

**OLD BUSINESS:** None. All discussion was reserved for new business.

**NEW BUSINESS:**

1. **Haines Sanitation:** The Commission was presented with documentation concerning the Haines Sanitation landfill. Ms. Walker discussed with the Commission her request for the Borough to consider the selection of Lots 4 and 19 in the vicinity of the landfill as a part of their municipal entitlement. It was explained that the Borough had a total of 18 acres remaining to select under this entitlement program, the acreage of this selection request was for 10 acres. Discussion brought forth the matter that the landfill is currently being operated without a permit and that the State DEC has concerns with the future leachate containment and groundwater contamination in the vicinity of the landfill. After exploring options with both Borough and State offices, the best option to pursue at this time is for the Borough to select state lands Lot 4 and 19 and proceed to negotiate a sale at fair market value with Haines Sanitation. Ron Schonenbach of the State Division of Lands recommended the Borough consider this action.

**M/S NELSON/RIETZE** to recommend the Borough select Lots 4 & 19 in the vicinity of the landfill from the State and negotiate a land sale at fair market

value with Haines Sanitation for leachate containment; other covenants will apply as determined by the Borough Assembly.

**The vote on the motion passed unanimously.**

2. **Tract 47, Small Tracts Road:** The Commission reviewed a letter requesting the Borough to negotiate a sale of a five acre Borough owned piece of land along Small Tracts Rd. to one of the adjacent landowners, Helen Streu working through Kirk Bowen and Amy Hocking. The other adjacent landowners are Jim and Rebecca Heaton and they have previously expressed some interest in this particular lot also. After discussion, the Commission made the following motion and decision.

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**M/S McCLINTOCK/NELSON** to recommend that the Borough Assembly include this parcel of land in the next land auction sale available to the public.

**The vote on the motion passed unanimously.**

3. **Draft Borough Comprehensive Plan:** The Commission went into discussion on one main recommendation from the draft comprehensive plan. Chairman Johnson read a letter from Mayor Lapp which requested the Commission to make a recommendation to the Assembly on the idea of the Borough Planning Commission becoming the planning board for the land use service areas. Discussion evolved on this topic with reference to the draft document before the Commission.

**M/S RIETZE/McCLINTOCK** to recommend that the Borough Assembly move forward with making the HBPC the sole planning body for all land use service areas (LUSA). The Planning Commission will develop the administrative framework of the relationship between the HBPC and LUSA. The current LUSA boards will evolve into advisory boards to the planning commission. Two seats on the planning commission will be appointed (by the Mayor) representative of the land use service areas (one seat per LUSA), with recommendations for appointment made by the respective advisory boards and the HBPC. The HBPC recommends this motion be put forth in ordinance form for introduction to the Assembly.

**The vote on the motion passed unanimously.**

**M/S McCLINTOCK/RIETZE** to adjourn. Next meeting is scheduled for January 12, 1999 at 4 PM. Motion passed without opposition.

Respectfully Submitted,

  
\_\_\_\_\_  
Brian Johnson, Chairman

Attest:   
John Brower, Borough staff

3/8/99

\_\_\_\_\_  
Date Approved

HAINES BOROUGH ASSEMBLY  
REGULAR MEETING #633  
JANUARY 19, 1999

**CALL TO ORDER:** Mayor Lapp called the meeting to order at 7:32 p.m.

**PLEDGE TO FLAG:** Led by Mayor Lapp.

**ROLL CALL:** Present – Assembly members, Debra **Schnabel**, Gary **Koenig**, Ray **Menaker**, Shirley **Willard**, Jan **Hill** and Terry **Pardee**.

**Staff present:** Dan **Turner**, Assessor; Jacki **Martin**, Clerk/Treasurer; and Ann **Myren**, Librarian.

**Visitors present:** David McKenzie, Tom Morphet, Steve Williams, Linda Walker, Fred Sloan, Ed Fabeck, Ron Weishahn, Jim Stanford, Tim McDonough, Carolyn Weishahn, Lee Heinmiller and others.

**APPROVAL OF CONSENT AGENDA:** Mayor Lapp removed item F-2 which was to set a date for Ward's Cove, Haines Planning Commission and Haines Borough Assembly workshop to discuss land issue at EXI. Also removed from the agenda was item 12-A, Old Business, discussion of the Fire Hydrant T's for a portion of Floreske's water system.

**M/S Pardee/Willard** to approve the consent agenda.

Ms. Schnabel requested items 9-A and 9-B removed for discussion. She also asked what the status of the Community Action Plan was. Mayor Lapp responded he would speak briefly to that matter under his report.

Community Action  
Plan

**Motion carried unanimously** on a roll call vote.

**AUDIENCE PARTICIPATION:** With no comments the meeting continued.

**MAYOR'S REPORT:** Mayor Lapp said on the agenda was a resolution placing the question of whether or not residents want an Economic Development Service Area on a special election ballot. He will meet with Debra Schnabel and John Brower to select a committee to serve on the Community Action Plan.

The Mayor mentioned the Southeast Conference of Mayors supporting a study being funded by several municipalities for the SE Alaska Socio Economic Study and would like to have a contribution of \$8000.00 from the City and Borough of Haines, (\$4,000.00 from each).

Ms. Schnabel stated she had a problem with the funding because the City residents would be paying twice as Borough residents within the

HAINES BOROUGH ASSEMBLY  
REGULAR MEETING #633  
JANUARY 19, 1999

City.

Mayor Lapp said he would report to the Southeast Conference of Mayors that the Borough is still undecided and would like more information.

Peter and Linda Enticknap and Al and Carole Moore were appointed by the Mayor, to the Letnikof Estates Road Maintenance Service Area Board at their request.

Enticknaps & Moores appointed to Letnikof Est. Rd. Maintenance S.A. board.

Also, appointed to the Museum Board were, Fred Sloan, Rosemary Roberts and Joe Hotch.

Museum Board appts. Fred Sloan, Rosemary Roberts & Joe Hotch

Mayor Lapp asked the Assembly if they would like to follow the City Council's example and change the Borough Assembly meeting time to 6:30 p.m. during the winter. It was agreed to try the new time for the next meeting.

Meeting time changed to 6:30 p.m.

Conflict of interest statements are due in to the Clerk's office before March 15, 1999.

Mayor Lapp announced the move into the additional office space had been accomplished.

Boundary expansion of Fire District #1 to the Greg Bigsby residence, has been requested by petition of the residents within the area and will be on the agenda for the February meeting.

Boundary expansion request FD #1 area

**MUSEUM REPORT:** Fred Sloan gave the report of which a copy was included in Assembly packets.

**LIBRARY REPORT:** Ann Myren reported on the Library activities of which a copy was included in packets.

Ann referenced a letter in packets where the Library Board is requesting the assembly meet with them. It was decided the meeting would take place on January 26, 1999 at 6:00 p.m. in the Library.

Ms. Schnabel asked how the expansion of Seaknet was funded. Ms. Myren stated from the funds received from subscribers.

**Land Selection for Haines Sanitation:** Dan Turner said the Borough has 18 acres remaining for land selection from the State, and explained that Haines Sanitation has requested the Borough select 10 acres adjacent to the land fill, from the State Division of Lands to sell to Haines Sanitation to be used as additional leaching area for the landfill.

Land Selection requested by Haines Sanitation

HAINES BOROUGH ASSEMBLY  
REGULAR MEETING #633  
JANUARY 19, 1999

**M/S Koenig/Willard** to direct Borough Assessor to proceed with the land selection adjacent to the landfill.

Mrs. Walker said of the 20 acres owned by Haines Sanitation about 8 acres are not filled. The 10 acres requested are for the protection of those residents living below the landfill.

Mr. Turner talked to the Division of Lands and they will not sell to a private party. The only alternative is for the Borough to select the land and sell to Haines Sanitation.

Mr. Menaker questioned if the water would be drinkable after passing through the requested 10 acres to the private property below. Ms. Walker said samples have been taken which passed health standards.

Motion carries to proceed with the land selection adjacent to the landfill.

**Motion carried unanimously** on a roll call vote.

**CORRESPONDENCE:**

Mayor Lapp read a letter from John Schnabel to Bob Martin of DOT regarding the intertie road between Juneau, Haines and Skagway.

Mr. Koenig agreed with Ms. Schnabel that the powers that be should know that the Borough has taken notice and does not approve of the proposal of a partial road link between Cascade Point, north of Juneau, and Skagway.

Mayor Lapp said he will write a letter voicing our concerns and also mention it at the SE Mayors Conference.

A letter from Chilkat Valley News was read by the Mayor regarding the advertising policy presently used by the Borough.

CVN correspondence

Mayor Lapp explained that the Borough wished to support both the CVN and the Eagle Eye Journal and reach as many residents as possible. The attorneys have been contacted for an opinion and they have found that both papers fit the criteria of a 'newspaper of general circulation' requirement as set forth in the Alaska Statutes.

Mayor Lapp allowed Bonnie Hedrick of Chilkat Valley News to voice her concerns regarding the Borough's alternating advertising in the two weekly papers.

The Mayor asked Mr. David McKenzie if he would like to respond on behalf of the Eagle Eye Journal.

**Haines Borough  
Planning Commission  
Meeting # 71  
February 2, 1999**

**CALL TO ORDER:** Chairman Brian Johnson called the meeting to order at 6:08 PM in the Haines Borough Office Conference Room.

**ROLL CALL:** Brian Johnson, Hugh Rietze, Paul Nelson, Scott McClintock, Jim Szymanski present. Debbie Gordon and Dave Nanney absences excused. Quorum is established.

**STAFF:** John Brower

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**VISITORS:** None

**APPROVAL OF MINUTES:**

**DISCUSSION:** Chairman Johnson and Commissioner McClintock made special note that at the July 13<sup>th</sup> Commission meeting, a committee was formed to develop a working relationship between the land use service areas and the planning commission. The committee was to be comprised of John Brower and Debbie Gordon. It was noted for the record that no action had been taken to date on this matter.

**M/S McCLINTOCK/SZYMANSKI** to approve the minutes of HBPC meetings dated December 7, July 20, July 13 and June 8, 1998.

**The motion passed unanimously.**

**APPROVAL OF AGENDA:**

**DISCUSSION:** Commissioner McClintock led a discussion involving the "Old Business" matter of the Borough Planning Commission becoming the sole planning body for the Borough land use service areas. Mr. McClintock noted that a lot of thought needs to be put into how such a system will work and that the Planning Commission needs to start work on this as soon as possible. The Planning Commission will need to define how this process is to work for platting and zoning requirements. The discussion met with general agreement by fellow Commissioners; it was stated that we need to research how other Boroughs are doing planning, platting and zoning. The Planning Commission agreed that they need to begin to examine this process in greater detail upon completion of the Borough Comprehensive Plan exercise. It was believed that the Commission could review this work within the task of developing a "template" Borough code for land use service areas.

**M/S RIETZE/SZYMANSKI** to approve this meeting's agenda.

**The motion passed unanimously.**

**OLD BUSINESS:**

1. **Borough negotiated land sale to Haines Sanitation:** The lands manager asked the Commission to consider placing the same covenants on lots 4 & 19, Section 2, T. 31S., R 59 E., CRM as were placed on the previous Borough land sale to Haines Sanitation.

**M/S SZYMANSKI/McCLINTOCK** to approve the following covenants for the Haines Sanitation negotiated land sale:

- The timber on the northern half of Lot 4 shall be left as a buffer.
- Lots cannot be sold separately from the landfill property.
- Lots cannot be used as a landfill site.

**The motion passed unanimously.**

2. **Comprehensive Plan:** The Comprehensive Plan was approved by the Commission as a working document with the understanding to incorporate future periodic revisions and changes to the Plan. The Commission will recommend to the Assembly to adopt the Comprehensive Plan with the understanding that it will be fine tuned in the future.

**M/S McCLINTOCK/SZYMANSKI** to incorporate the borough lands classification system as a recommendation and appendix to the Comprehensive Plan document.

**Motion passed unanimously.**

**M/S SZYMANSKI/McCLINTOCK** to approve the draft Comprehensive Plan pending minor modifications (deleting the "planning districts" recommendation). The Planning Commission will review a final draft Comprehensive Plan (with appendices) at its March 2<sup>nd</sup> meeting before sending the document to the Borough Assembly.

**Motion passed unanimously.**

**NEW BUSINESS:**

1. **Small Timber Sale Request:** There has been a request made to the Borough by Scott Rossman for a small timber sale on Borough property in the Mt. Riley Road area. The planning commission reviewed the merits of this request. Discussion was tabled until Mr. Rossman was able to provide the Commission with an actual proposal of the small timber sale. The Commission expressed concerns with the nature of this request. The Commission felt that if there was to be a small timber sale, it should be by public bid and not negotiated. Commissioners noted that there may be other citizens in the Borough that may be interested in such a timber sale offering

by the Borough. In this regard, the Commission had no opposition to bid out a small timber sale in the Mt. Riley Road area.  
M/S McCLINTOCK/RIETZE to table discussion until Mr. Rossman has time to present a more detailed proposal of this small timber sale request.

**Motion passed without opposition.**

2. **Tract 47, Small Tracts Road:** This item was not on the agenda, but Borough Staff person Brower brought it before the Commission for brief discussion. Mayor Lapp is requesting the Commission to approve of a land sale on this Borough property for this summer. The Commission tabled discussion until its March 2<sup>nd</sup> meeting.

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**NEXT MEETING:** Date is set for March 2<sup>nd</sup> at 6 PM.

**ADJOURNMENT:** The meeting was adjourned at 8:05 PM.

Respectfully Submitted,

Attest:

  
\_\_\_\_\_  
Brian Johnson, Chairman

  
\_\_\_\_\_  
John Brower, Borough Staff

Date:

3/8/99

# State of Alaska



## Patent

No. 17295

Know Ye By These Presents that the Grantor, the STATE OF ALASKA, DEPARTMENT OF NATURAL RESOURCES, 3601 C Street, Suite 960, Anchorage, Alaska 99503-5936, pursuant to AS 29.65.010-140 and the regulations promulgated thereunder, and the Final Finding and Decision dated November 21, 1980, and August 11, 1999, for good and valuable consideration, grants and conveys to the Grantee, the HAINES BOROUGH, whose mailing address of record is P.O. Box 1209, Haines, Alaska 99827, Grantee's successors and assigns, all that real property situated in the Haines Recording District, State of Alaska, and described as follows:

TOWNSHIP 31 SOUTH, RANGE 59 EAST, COPPER RIVER MERIDIAN, ALASKA

SECTION 2: LOTS 4 AND 19.

CONTAINING 10.07 ACRES, MORE OR LESS.

ACCORDING TO THE SURVEY PLAT ACCEPTED BY THE UNITED STATES DEPARTMENT OF THE INTERIOR, BUREAU OF LAND MANAGEMENT IN WASHINGTON, D.C. ON SEPTEMBER 9, 1952.

Subject to platted and valid existing easements and reservations.

Net chargeable acreage under AS 29.65.010 is 10.07 acres, more or less.

Save and Except, those restrictions appearing in the Federal Patent or other conveyance by which the Grantor acquired title;

And Further, the Grantor hereby expressly saves, excepts and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, all oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils of every name, kind or description, and which may be in or upon said lands above described, or any part thereof, and the right to explore the same for such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and it also hereby expressly saves and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right to enter by itself, its or their agents, attorneys, and servants upon said lands, or any part or parts thereof, at any and all times for the purpose of opening, developing, drilling, and working mines or wells on these or other lands and taking out and removing therefrom all such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and to that end it further expressly reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right by its or their agents, servants and attorneys at any and all times to erect, construct, maintain, and use all such



