



Haines Borough Planning Commission
May 9, 2024 Regular Meeting
AGENDA
Location: Assembly Chambers and on ZOOM

Zoom Meeting Information

Webinar ID: 883 2860 3717

Passcode: 084548

Brian O'Riley
Planning Commissioner

Dan Schultz
Planning Commissioner

Derek Poinsette
Planning Commissioner

Eben Sargent
Planning Commissioner

Erika Merklin
Planning Commissioner

Rachel Saitzyk
Planning Commissioner

Patty Brown
Planning Commissioner

Craig Loomis
Assembly Liaison

Annette Kreitzer
Borough Manager

Kiersten Long
Deputy Clerk

1. CALL TO ORDER/PLEDGE TO FLAG/LAND ACKNOWLEDGEMENT/ROLL CALL

2. APPROVAL OF AGENDA & CONSENT AGENDA

[The following Consent Agenda items are indicated by an asterisk () and will be enacted by the motion to approve the agenda. There will be no separate discussion of these items unless a planning commission member or other person so requests, in which event the asterisk will be removed and that item will be considered by the planning commission on the regular agenda.]*

Consent Agenda:

3 – Approve Minutes from 4-11-24 Regular Planning Commission

***3. APPROVAL OF MINUTES – 4-11-24 Regular Planning Commission Meeting**

4. PUBLIC COMMENTS – [For any topics not scheduled for public hearing. Individual comments are limited to 3 minutes unless another yields 3 minutes to the speaker in advance] *Note: during this section of the agenda, the commission will listen and take notes. No official action will be taken at this time. Please address the planning commission at the podium provided, use the microphone, and state your full name for the record and the topic of your comment.*

5. CHAIR REPORT

6. COMMISSIONER COMMENTS

7. SUBCOMMITTEE REPORTS - None

8. ASSEMBLY LIAISON REPORT – Assembly Member Loomis

9. STAFF REPORT

A. Staff Report

B. Comprehensive Plan Update

10. PUBLIC HEARINGS - None

11. UNFINISHED BUSINESS - None

12. NEW BUSINESS

** Reminder HBC 18.30.040 requires commission review for Borough projects at the conceptual stage of design. At that time, the commission shall decide whether additional design review are required at the 35 percent, 65 percent and 95 percent stages of design.*

A. 5th to 6th Ave Drainage Project 95% Design

At the April 11, 2024 meeting, the 35% design was approved and the commission requested that the plans be brought back at 95%.

Proposed Motion: Approve 95% Design for the 5th to 6th Avenue Drainage Project.

B. Haines Borough Visitor Center Parking Lot 95% Design

65% designs were approved at the April 11, 2024 Meeting.

Proposed Motion: Approve 95% Design for the Haines Borough Visitor Center Parking Lot.

12. NEW BUSINESS – Continued

C. Planning Commission Preparation Meeting Calendar

At the April 11, 2024 meeting the Commission decided to recommend to the assembly to change the regular planning commission meeting date in code to the third Thursday of the month. Ordinance 24-04-676 was introduced by the assembly and scheduled for its first public hearing 5/14/24 and a second public hearing 5/28/24. Since the Ordinance is likely to be adopted prior to the next planning commission meeting, the updated prep calendar should be adopted subject to adoption of Ordinance 24-04-676.

Motion: Adopt the Updated Planning Commission Preparation Meeting Calendar subject to adoption, by the assembly, of Ordinance 24-04-676.

D. Capital Improvements Program Review and Recommendation to the Assembly.

Haines Borough Code 3.04.010(E) provides:

E. Prior to adoption of the budget, the planning commission shall review the proposed capital improvements program and submit its recommendations thereon to the borough assembly. The manager shall submit the capital improvements program to the planning commission in a reasonable period in advance of the fiscal year. (See HBC 18.30.040(H).)

E. Land Use Permit #24-24 – Joanne Waterman- C-PTC-0B-0100-Significant Structures Zone

The Planning Commission is acting as the Historic District Committee per HBC 18.70.050(C). The commission must first determine if the development is: a) one of the surveyed historic structures, or b) the development has a material effect upon the general character of the district and any of the individual structures. If either of these conditions are met, the commission must apply the 9 specific approval criteria contained in 18.60.020(G).

13. PUBLIC COMMENTS

14. COMMISSION COMMENTS

15. CORRESPONDENCE

16. SCHEDULE MEETING DATE

A. Set Comprehensive Plan Work Session – May 30 from 5:00-7:00 pm at the Library.

17. ADJOURNMENT

Haines Borough
Planning Commission Meeting
April 11, 2024
MINUTES

Draft

3

1. CALL TO ORDER/PLEDGE TO THE FLAG/LAND ACKNOWLEDGEMENT/ROLL CALL:

Chair **BROWN** called the meeting to order at 6:39 pm in the assembly chambers and on zoom, and led the pledge to the flag.

Commissioners Present: Patty **BROWN**, Eben **SARGENT**, Erika **MERKLIN**, Dan **SCHULTZ**, Derek **POINSETTE**, Brian **O'RILEY**

Absent: Rachel **SAITZYK**

Assembly Members: Craig **LOOMIS**/Liaison, Tom **MORPHET**/Mayor

Staff Present: Kiersten **LONG**/Deputy Clerk, Tony **WILSON**/It Tech

Visitors Present: Nishan **WEERASINGHE**, Joe **PARNELL**, Peter **DOHRN**, Roger **SCHNABEL**, Mathew **JILLSON**, Don **TURNER JR**, and 17 others on zoom.

2. APPROVAL OF AGENDA: The following Items were on the published consent agenda indicated by an asterisk (*)

3 – Approve Minutes from 3-14-24 Regular Planning Commission Meeting

Absent objection hear item 12D and 12E before Item 12A and to remove the minutes from the consent agenda

3. APPROVAL OF MINUTES:

MOTION MERKLIN moved to “approve the 3-14-24 minutes” and the motion carried unanimously.

MOTION: SARGENT moved to “direct the staff to provide the commissioner response forms to be considered in their review of the Conditional Use Permit appeal” and the motion carried unanimously.

4. PUBLIC COMMENTS:

PARNELL – Derelict buildings in the Fort

TURNER – Following code Conditional Use Permit

5. CHAIR’S REPORT: Chair **BROWN** reported on

A. Geotechnical Conversation

B. Bear/Human Conflict Taskforce

6. COMMISSIONER COMMENTS:

SCHULTZ – Making a comment to the Assembly “please use us as a resource”

POINSETTE – Bear/Human Conflict Task Force; Bear safety event June 6th; Comment deadline has been extended to April 26th for the comprehensive plan; Between May 9th and June 13th will be a planning commission work session; Received email from Constantine North regarding the April 24th comment deadline to send a letter to extend the comment deadline to 30 days.

MOTION: POINSETTE moved to “send this letter as a body to commissioner John Boyle” and the motion carried unanimously.

SARGENT – Planning commission should take their own minutes; Planning Commission should take charge of their own minutes; a list of active topics or projects listed in the minutes that have carried from previous minutes. Thinks things could move through quicker if we are tracking them better; Maybe a spread sheet with a list or somewhere on the agenda.

7. **SUBCOMMITTEE REPORTS:** None
8. **ASSEMBLY LIAISON REPORT:** Assembly member **LOOMIS** reported the assembly passed a motion to rehear cup 23-87 and 23-87B.
9. **STAFF REPORT:**
 - A. **Staff Report**
 - B. **Comprehensive Plan Update**
 - C. **Discussion Regarding Planning Commission Meeting Schedule**

MOTION: **SARGENT** moved to “move Planning Commission Meetings to the third Thursday” and the motion carried unanimously.

10. PUBLIC HEARINGS:

A. Haines Borough Clean Metal Project Conceptual/35% Designs

The Borough is exploring the creation of a clean metal staging yard to support a junk car and other scrap metal removal project.

Lucas **CHAMBERS**/proHNS was present and available to answer any questions.

*The public hearing was opened at 7:46 pm and the following people spoke with respect to this item: **TURNER Jr.** Hearing no further comments, the public hearing was closed at 7:48 pm.*

Motion: **SARGENT** moved to “Hold the Haines Borough Clean Meatal Project at 35% to obtain other background history and detailed plans” and the motion carried unanimously.

B. Conditional Use Permit #24-001 Extension of permit #19-03 Resource Extraction – Highland’s Estates Inc. & St. James Place C-208-0400 &

C-208-03A0 – Rural Mixed Use Zone – Continued from the March 11, 2024 Planning Commission Meeting

*The public hearing was opened at 7:52 pm and the following people spoke with respect to this item: **JILLSON, TURNER JR.** Hearing no further comments, the public hearing was closed at 7:55 pm.*

Roger **SCHNABEL** was present and available to answer questions.

Commissioners discussion of HBC 18.50.040(A) 1-8 Conditional Use Criteria for CUP #24-001

1) The use is so located on the site as to avoid undue noise and other nuisances and dangers;

Merklin – Agree

Poinsette – Agree

Sargent – Agree

Schultz- Agree there hasn’t been any comments from the past decades

Brown – Agree

O’RILEY – Agree

2) The development of the use is such that the value of the adjoining property will not be significantly impaired;

Merklin – Agrees

Poinsette – Agrees, but there has been a comments made

Sargent – Agrees

Schultz- Agrees with the borough

Brown – Agrees

O’RILEY - Agrees

Commissioners discussion of HBC 18.50.040(A) 1-8 Conditional Use Criteria for CUP #24-001-
Continued:

3) The size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use;

Merklin – Agree the existing public services are adequate
Poinsette – agree
Sargent – agree
Schultz – agree
Brown – agree
O’RILEY – agree

4) The specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses;

MERKLIN – yes; it is a neighborhood can see a change in the future; the neighborhood is changing but as it is now I agree
POINSETTE – yes but acknowledging it might change in the future
SARGENT – Current uses should focus on comprehensive plan in effect right now agrees
SCHULTZ – yes, it is shown to be consistent for decades
BROWN – Agree based on current comprehensive plan
O’RILEY – agree, but we have to look to the future and keep options open

5) The granting of the conditional use will not be harmful to the public safety, health, or welfare;

Merklin – agree
Poinsette – yes; we do have another geological technical document coming out in the future
Sargent – agree, doesn’t think the proposed development plan looking at the site, slope, and material would be consistent on what has been taken out won’t substantiaally change the landslide considerations or trigger any other additional public safety impacts
Schultz – agree
Brown – agree
O’RILEY – agree

6) The use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams;

Merklin – agree
Poinsette – yes
Sargent – agree
Schultz – agree
Brown – agree
O’RILEY – agree

7) The use will comply with all required conditions and specifications if located where proposed and developed, and operated according to the plan as submitted and approved;

Merklin – agree
Poinsette – agree
Sargent – agree
Schultz – agree
Brown – agree
O’RILEY – agree

Commissioners discussion of HBC 18.50.040(A) 1-8 Conditional Use Criteria for CUP #24-001-
Continued:

8) Comments received from property owners impacted by the proposed development have been considered and given their due weight;

Merklin –agree
Poinsette – agree
Sargent – agree
Schultz- agree
Brown – agree
O’RILEY – agree

Commissioners discussed HBC 18.60.010 A-U General Approval Criteria for CUP #24-001
After consideration, there was unanimous agreement with the manager’s recommendations for the general approval criteria for CUP #24-001.

MOTION: SARGENT moved to “approve Conditional Use Permit #24-001 with the manager’s conditions and a life span of five years” and the motion carried 5-1 with **BROWN** opposed.

11. UNFINISHED BUSINESS: None

12. NEW BUSINESS:

***Clerk’s Note: Item 12D the 12E were heard at this point in the meeting.*

A. 5th to 6th Ave Drainage Project 35% Design

Ethan **ROEMELING**/proHNS was present to speak regarding this item.

MOTION: SARGENT moved to “approve 35% designs and bring it back at 95%” and the motion carried unanimously.

B. Haines Borough Visitor Center Parking Lot 65% Design

Ethan **ROEMELING**/proHNS was present to speak regarding this item.

MOTION: POINSETTE moved to “approve 65% designs and bring it back at 95%” and the motion carried unanimously.

C. Piedad, Library, and Admin Generator Project 65% Design

Benjamin **HAIGHT**/RESPEC presenting regarding this item.

MOTION: POINSETTE moved to “approve 65% designs and bring it back at 95%” and the motion carried unanimously.

D. Request for Planning Commission Action – Peter Dohrn

The Planning Commission had a discussion with Mr. DOHRN with respect to the Mathias Ave Project. The following members of the public also spoke reagarding this item:

TURNER JR.

E. Land Use Permit # 24-012 – June Haas & Kay Dunning – C-PTC-0I-0200 – Significant Structures Area Zone

MOTION: SARGENT moved to “approve LUP 24-012 since the commission found that the development is not one of the surveyed structures and it doesn’t have a material effect upon the character of the district” and the motion carried unanimously.

13. **PUBLIC COMMENTS:** None
14. **ANNOUNCEMENTS / COMMISSION COMMENTS:**
SCHULTZ – Adjusting starting time to 6:00 pm
SARGENT – State Road Project
BROWN – Lutak Dock
15. **CORRESPONDENCE:** None
16. **SET MEETING DATE:**
**A. Set Comprehensive Plan Work Session – Thursday, June 6, 2024 at 6:30 pm
Assembly Chambers**
17. **ADJOURNMENT:** 9:34pm

ATTEST:

Kiersten Long, Borough Deputy Clerk

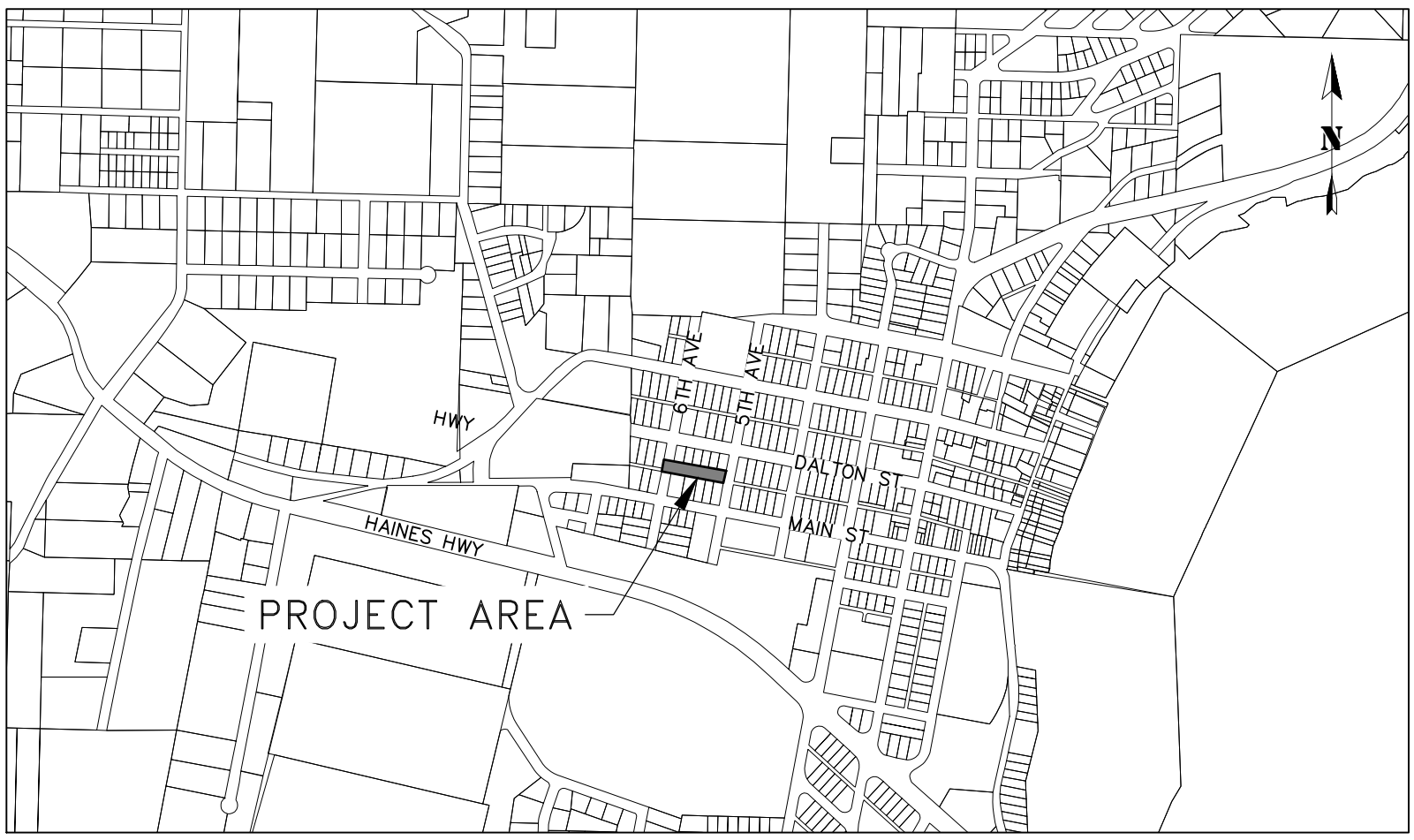
Planning Commission Chair

STATUS	#	OWNER/APPLICANT	PROPERTY TAX ID	ZONE	PERMIT	PRIMARY LAND USE
2024						
APPROVED	24-001	Highlands Estates	C-208-TL-0400 , C-208-TL-03A0	RMU	CUP	Resource Extraction/ Proc.
APPROVED	24-002	Badger	C-785-00-05A0	I/L/C	LUP	Marijuana, Retail
PENDING	24-003	Studley	VARIOUS		ROWU	
PENDING	24-004	HFR	C-735-03-0600		W/S	
APPROVED	24-005	Clark	4-MBR-07-1210	MBRR	LUP	Single Unit Dwelling
APPROVED	24-006	Joiner	C-NUK-00-0600/07A3	W	LUP	Single Unit Dwelling
PENDING	24-007	Ordonez	C-SKY-0A-0600		LUP	Single Unit Dwelling
PENDING	24-008	PRIOR/MOORE	C-MEA-02-2700	SR	REC	
APPROVED	24-009	DON BOYD	C-ANY-11-0100	RR	ROWD	
PENDING	24-010	Nickolas Scholsstein	C-ANY-06-0200/0300	RR	LUP	Single Unit Dwelling
PENDING	24-011		4-MBR-07-1210	MBRR	LUP	
APPROVED	24-012	June Haas/Kay Dunning	C-PTC-0I-0200	SSA	LUP	Single Unit Dwelling
PENDING	24-013			RR		
		Chisel Ent. Ira Henry	C-785-00-0700		W/S	
PENDING-PC	24-014	Frank Berlogar	C-HHY-01-002A		PAL	
APPROVED	24-017	James Alborough	C-KLO-11-0200	SR	LUP	
APPROVED	24-018	Stephanie Anderson	C-NUK-00-0900	SR	LUP	Single Unit Dwelling
APPROVED	24-019	Stephanie Anderson	C-NUK-00-0900	SR	ROWD	Single Unit Dwelling
APPROVED	24-020	Haines Industrial	C-PTC-07-1000	C	SD	Site Development
PENDING	24-021	Paul Gaither	C-SKY-0D-0700	SR	LUP	Single Unit Dwelling
PENDING	24-022	Harry Rietze	C-735-03-0600	I/L/C	SD	
PENDING	24-023	Delta Western	C-MIS-0A-0100	C	SD	Site Development
PENDING-PC	24-024	Joanne Waterman	C-PTC-0B-0100	SSA	LUP	Accessory Uses
PENDING	24-025	Stephanie Anderson	C-NUK-00-0900		W/S	

5TH TO 6TH AVENUE DRAINAGE IMPROVEMENTS

HAINES BOROUGH, ALASKA

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND ABBREVIATIONS GENERAL NOTES
3	EXISTING SITE CONDITIONS & DRAINAGE PATTERNS
4	PLAN VIEW
5	PROFILE VIEW
6	CONSTRUCTION DETAILS
7	SURVEY CONTROL SHEET



PROJECT LOCATION MAP
NTS



**ALASKA
VICINITY MAP**
NTS

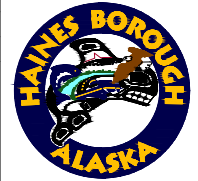
C:\Users\EthanRoemeling\proHNS Dropbox\Projects\Haines\5th to 6th Ave Drainage\C3D\5th & 6th Avenue\Sheets\5th to 6th Ave_COVER.dwg April 29, 2024

95%
DRAFT
FOR REVIEW ONLY

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: E. ROEMELING
DESIGNED BY: E. ROEMELING
CHECKED BY: L. CHAMBERS
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5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS

COVER SHEET

SHEET NUMBER
1
OF
7

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LEGEND

DESCRIPTION	EXISTING	REMOVE	PROPOSED
ASPHALT	EDGE OF ASPHALT	---	HATCHED AREA
BOLLARDS	• •		
BUILDING			
ROCKERY WALL			
DITCH FLOW LINE	— > — > —		— > — > —
GUTTER			
FENCE	* * * * *		
FIRE HYDRANT			
MONUMENT			
PROPERTY LINE	---		
EASEMENT LINE	---		
SANITARY SEWER CLEANOUT	○		
SANITARY SEWER PIPE	PIPE SIZE & TYPE		
SANITARY SEWER MANHOLE			
SAWCUT & MTE LIMITS			---
SIGN			
STORM DRAIN CATCH BASIN			
STORM DRAIN PIPE	PIPE SIZE & TYPE SD	PIPE SIZE & TYPE ---SD---SD---SD---	SD (P-1) SD
STORM DRAIN MANHOLE, GRATE			
TOP OF DITCH	---		
TREE LINE			
UNDERGROUND PIPE CAP	[
UTILITY POLE	○		
UTILITY POLE WITH LUMINAIRE	○*		
OVERHEAD ELECTRICAL LINE	OHE		
WATER LINE PIPE	PIPE SIZE & TYPE		
WATER VALVE BOX	⊗		

ABBREVIATIONS

AC	ASPHALT CONCRETE
BOP	BEGINNING OF PROJECT
BTM	BOTTOM
BVC	BEGIN VERTICAL CURVE
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
EL	ELEVATION
EOP	END OF PROJECT
EX	EXISTING
FG	FINISHED GRADE
FH	FIRE HYDRANT
GV	GATE VALVE
HB	HAINES BOROUGH
HDPE	HIGH DENSITY POLYETHYLENE
IE	INVERT ELEVATION
INV	INVERT
LT	LEFT
LVC	LENGTH OF VERTICAL CURVE
MH	MANHOLE
MIN	MINIMUM
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OHE	OVERHEAD ELECTRIC
PC	POINT OF CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RP	RADIUS POINT
RT	RIGHT
ROW	RIGHT-OF-WAY
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TBM	TEMPORARY BENCHMARK
TP	TOP OF PAVEMENT
TYP	TYPICAL
VPC	VERTICAL POINT OF CURVATURE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY

GENERAL NOTES

- ALL WORK FOR THESE PLANS SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND STANDARDS.
- LOCATIONS AND ELEVATION OF EXISTING UNDERGROUND WATER, SEWER, POWER, TELEPHONE AND CABLE TELEVISION SHOWN ON THE PLANS WERE DERIVED FROM HAINES BOROUGH AS-BUILTS AND FIELD LOCATES. THE ACTUAL LOCATION OF UTILITIES MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING EXISTING UTILITIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE TO UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL CONTACT AND REQUEST UTILITY LOCATES, AT A MINIMUM, FROM THE FOLLOWING PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES:
 - A) HAINES BOROUGH PUBLIC FACILITIES, 907-766-6414.
 - B) ALASKA POWER & TELEPHONE(AP&T), 907-766-6500.
 - C) HAINES CABLE TV, 907-766-2337.
- A GEOTECHNICAL INVESTIGATION WAS NOT PERFORMED AS PART OF THIS DESIGN. HARDPAN, CLAY, GROUNDWATER, LARGE BOULDERS, BEDROCK, STUMPS, LOGS, ORGANICS, AND OTHER NATIVE MATERIALS MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING AND SITE GRADING OPERATIONS.
- THE TOTAL DISTURBED AREA FOR THIS PROJECT IS ANTICIPATED TO BE LESS THAN ONE ACRE.
- ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING CONDITIONS AND GRADES, AND STABILIZED WITH AN APPROVED HYDRAULIC GROWTH MEDIUM AND GRASS SEED UNLESS OTHERWISE SHOWN ON THE PLANS.
- CONTRACTOR SHALL ENSURE GARBAGE PICKUP, PRIVATE AND BUSINESS DELIVERIES, AND DAILY MAIL SERVICE WILL BE UNINTERRUPTED TO ALL BUSINESS AND RESIDENCES AFFECTED BY THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY EACH PROPERTY OWNER OF DRIVEWAY CLOSURE 48 HOURS PRECEDING THE DAY THE DRIVEWAY IS TO BE CLOSED TO VEHICULAR ACCESS. THE PROPERTY OWNER SHALL BE INFORMED OF THE PERIOD OF TIME THE CLOSURE WILL BE IN EFFECT. NO DRIVEWAY CLOSURES WILL BE PERMITTED UNTIL THIS REQUIREMENT HAS BEEN MET TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT WITH ITS TRACKS OR WHEELS PLACED ON PRIVATE PROPERTY, WITHOUT THE APPROVAL OF THE PROPERTY OWNER.
- THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS. ALL OTHER MATERIALS TO BE REMOVED AND DISPOSED OF SHALL BECOME THE PROPERTY OF THE CONTRACTOR, INCLUDING CONCRETE, ASPHALT, UNSUITABLE SOILS AND ETC.
- WORK SHALL BE PERFORMED MONDAY THROUGH FRIDAY, 8AM TO 5PM ONLY.

TRAFFIC CONTROL NOTES

- ALL TRAFFIC TO BE CONTROLLED PER REQUIREMENTS OF THE ALASKA TRAFFIC MANUAL, U.S. DEPARTMENT OF TRANSPORTATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE ALASKA SUPPLEMENT.
- MAINTAIN ONE (1) LANE FOR TRAFFIC AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- NOTIFICATION OF WORK THAT MAY IMPEDE TRAFFIC MUST BE PROVIDED TO THE HB PUBLIC WORKS DEPARTMENT, HB POLICE DEPARTMENT, HAINES VOLUNTEER FIRE DEPARTMENT, CHILKOOT INDIAN ASSOCIATION, ALASKA DOT&PF HAINES M&O FOREMAN, AND THE GENERAL PUBLIC A MINIMUM OF 72 HOURS IN ADVANCE OF IMPLEMENTING TRAFFIC CONTROL.
- CONTRACTOR MUST PROVIDE ALL NECESSARY SIGNS AND TRAFFIC CONTROL DEVICES TO MOVE TRAFFIC THROUGH OR AROUND THE PROJECT SITE.
- PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.

STANDARD SPECIFICATION

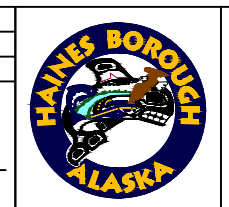
PERFORM THE WORK SHOWN BY THESE PLANS IN ACCORDANCE WITH THE ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES 2020 STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE PROJECT MANUAL.

95%
DRAFT
FOR REVIEW ONLY

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

DRAWN BY:	E. ROEMELING
DESIGNED BY:	E. ROEMELING
CHECKED BY:	L. CHAMBERS

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5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS

LEGEND
ABBREVIATIONS
GENERAL NOTES

SHEET NUMBER
2
OF
7


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April 29, 2024



95%
DRAFT
FOR REVIEW ONLY

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No.	DATE	DESCRIPTION	BY

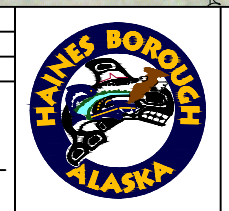


proHNS LLC
CERTIFICATE OF AUTHORIZATION #100662

DRAWN BY: E. ROEMELING
DESIGNED BY: E. ROEMELING
CHECKED BY: L. CHAMBERS

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5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS

EXISTING SITE
CONDITIONS &
DRAINAGE PATTERNS

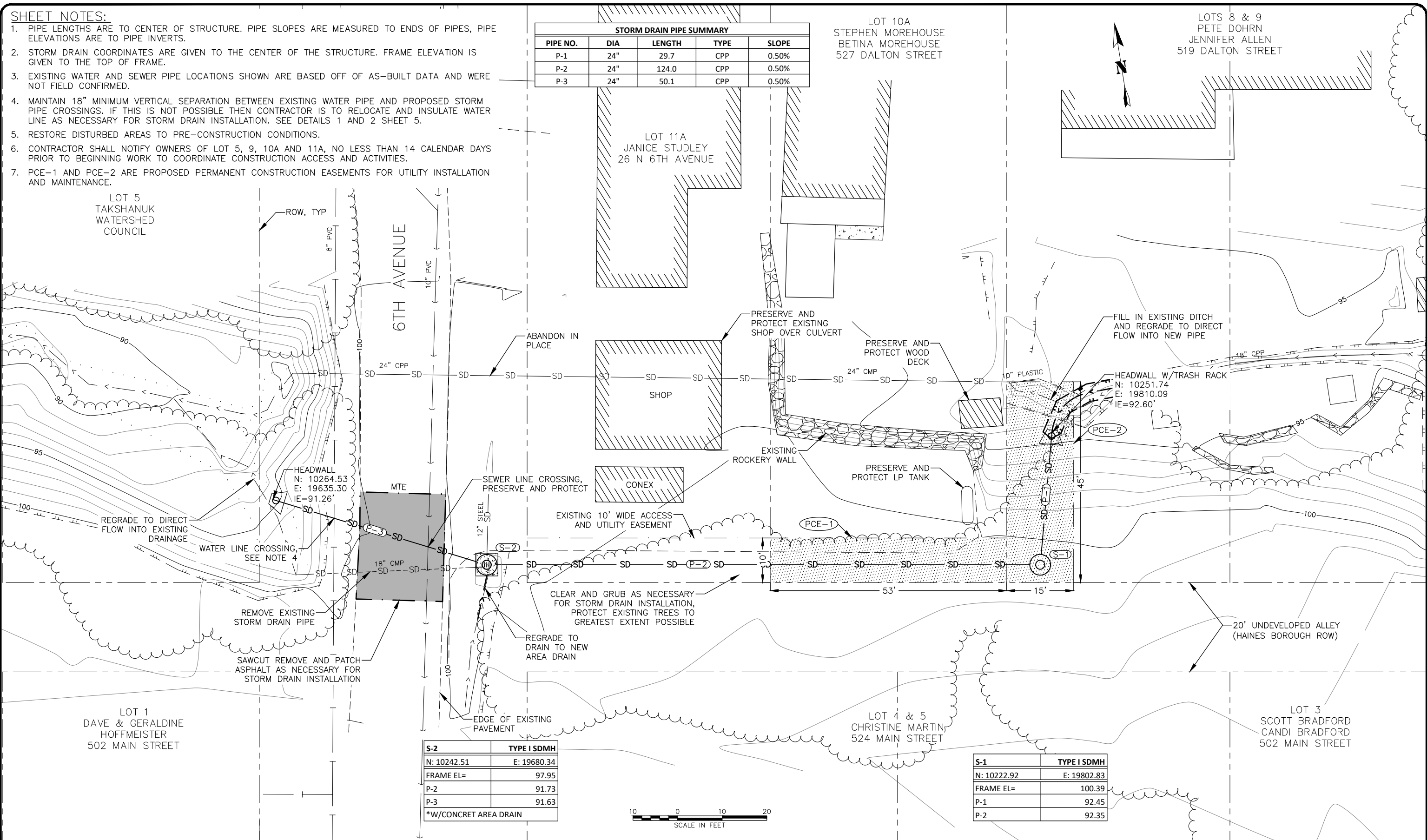
SHEET NUMBER	3
OF	7

SHEET NOTES:

- PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES, PIPE ELEVATIONS ARE TO PIPE INVERTS.
- STORM DRAIN COORDINATES ARE GIVEN TO THE CENTER OF THE STRUCTURE. FRAME ELEVATION IS GIVEN TO THE TOP OF FRAME.
- EXISTING WATER AND SEWER PIPE LOCATIONS SHOWN ARE BASED OFF OF AS-BUILT DATA AND WERE NOT FIELD CONFIRMED.
- MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN EXISTING WATER PIPE AND PROPOSED STORM PIPE CROSSINGS. IF THIS IS NOT POSSIBLE THEN CONTRACTOR IS TO RELOCATE AND INSULATE WATER LINE AS NECESSARY FOR STORM DRAIN INSTALLATION. SEE DETAILS 1 AND 2 SHEET 5.
- RESTORE DISTURBED AREAS TO PRE-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL NOTIFY OWNERS OF LOT 5, 9, 10A AND 11A, NO LESS THAN 14 CALENDAR DAYS PRIOR TO BEGINNING WORK TO COORDINATE CONSTRUCTION ACCESS AND ACTIVITIES.
- PCE-1 AND PCE-2 ARE PROPOSED PERMANENT CONSTRUCTION EASEMENTS FOR UTILITY INSTALLATION AND MAINTENANCE.

STORM DRAIN PIPE SUMMARY				
PIPE NO.	DIA	LENGTH	TYPE	SLOPE
P-1	24"	29.7	CPP	0.50%
P-2	24"	124.0	CPP	0.50%
P-3	24"	50.1	CPP	0.50%

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S-2	TYPE I SDMH
N: 10242.51	E: 19680.34
FRAME EL=	97.95
P-2	91.73
P-3	91.63
*W/CONCRET AREA DRAIN	

S-1	TYPE I SDMH
N: 10222.92	E: 19802.83
FRAME EL=	100.39
P-1	92.45
P-2	92.35



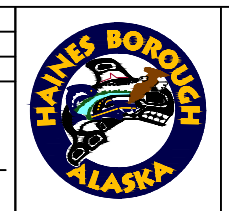
April 29, 2024
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RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

proHNS LLC
CERTIFICATE OF AUTHORIZATION #100662

DRAWN BY: E. ROEMELING
DESIGNED BY: E. ROEMELING
CHECKED BY: L. CHAMBERS

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**5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS**

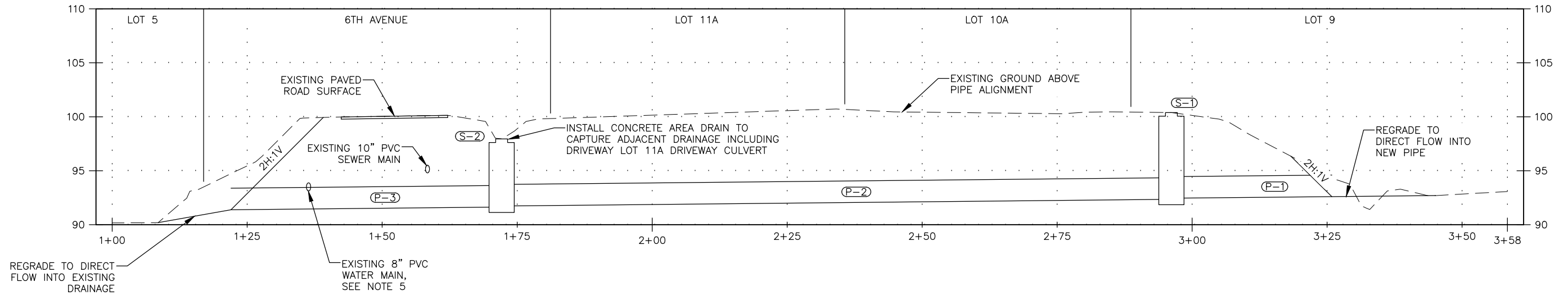
PLAN VIEW

SHEET NUMBER
4
OF
7

S-2	TYPE I SDMH
N: 10242.51	E: 19680.34
FRAME EL=	97.95
P-2	91.73
P-3	91.63
*W/CONCRET AREA DRAIN	

STORM DRAIN PIPE SUMMARY				
PIPE NO.	DIA	LENGTH	TYPE	SLOPE
P-1	24"	29.7	CPP	0.50%
P-2	24"	124.0	CPP	0.50%
P-3	24"	50.1	CPP	0.50%

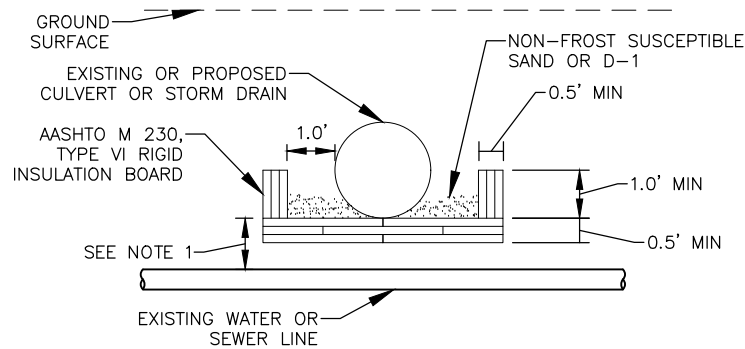
S-1	TYPE I SDMH
N: 10222.92	E: 19802.83
FRAME EL=	100.39
P-1	92.45
P-2	92.35



PIPE NETWORK PROFILE

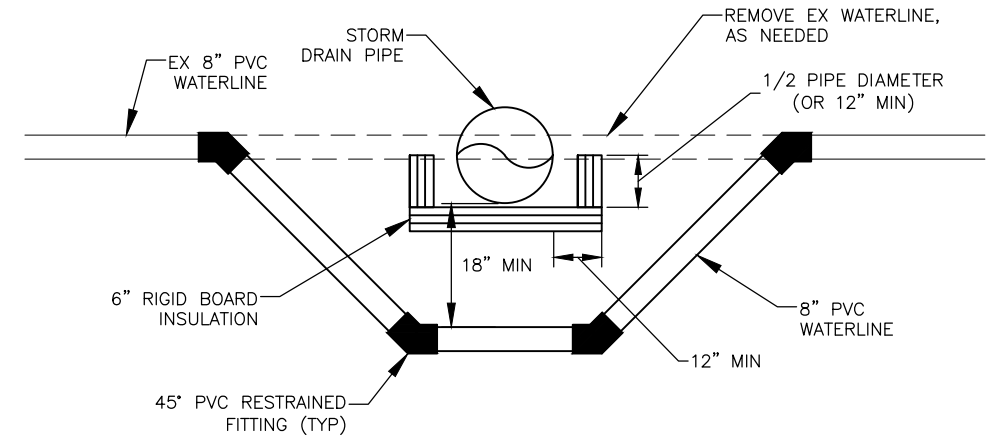
SHEET NOTES:

1. PROFILE FOLLOWS THE ALIGNMENT OF THE PIPE AND DRAINAGE, SEE PLAN VIEW FOR HORIZONTAL LAYOUT.
2. PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES, PIPE ELEVATIONS ARE TO PIPE INVERTS.
3. STORM DRAIN COORDINATES ARE GIVEN TO THE CENTER OF THE STRUCTURE. FRAME ELEVATION IS GIVEN TO THE TOP OF FRAME.
4. EXISTING WATER AND SEWER PIPE ELEVATIONS SHOWN IN PROFILE VIEW ARE BASED OFF OF AS-BUILT DATA AND WERE NOT FIELD CONFIRMED.
5. MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN EXISTING WATER PIPE AND PROPOSED STORM PIPE CROSSINGS. IF THIS IS NOT POSSIBLE THEN CONTRACTOR IS TO RELOCATE AND INSULATE WATER LINE AS NECESSARY FOR STORM DRAIN INSTALLATION. SEE DETAILS 1 AND 2 THIS SHEET.
6. RESTORE DISTURBED AREAS TO PRE-CONSTRUCTION CONDITIONS.
7. CONTRACTOR SHALL NOTIFY OWNERS OF LOT 5, 9, 10A AND 11A, NO LESS THAN 14 CALENDAR DAYS PRIOR TO BEGINNING WORK TO COORDINATE CONSTRUCTION ACCESS AND ACTIVITIES.



UTILITY CROSSING

1 WATER LINE INSULATION DETAILS
SCALE: NOT TO SCALE



2 VERTICAL WATERLINE RELOCATION
SCALE: NOT TO SCALE

DETAIL 2/5 NOTES:

1. SEE DETAIL 1 THIS SHEET.

DETAIL 1/5 NOTES:

1. INSTALL INSULATION AS SHOWN WHEN DISTANCE IS LESS THAN 6.0'.
2. PIPE INSULATION SHALL BE 8'-0" IN LENGTH, CENTERED OVER WATER LINE OR WATER SERVICE.
3. PIPE INSULATION WITH R-FACTOR EQUAL TO RIGID BOARD MAY BE SUBSTITUTED IF APPROVED BY THE ENGINEER.
4. CROSSING SHALL BE PROTECTED WITH A MINIMUM 6" OF INSULATION BOARDS WITH A 12" OVERLAP, AS SHOWN.

RECORD OF REVISIONS			
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5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS

PROFILE VIEW

SHEET NUMBER
5
OF
7

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FRAME & GRATE
ADJUSTING RINGS
(SEE NOTES 1 & 2)
REDUCING SLAB
PLASTER INTERIOR AND EXTERIOR OF ALL JOINTS WITH NON-SHRINKING GROUT (GROUT SHALL BE "RECRETE" OR APPROVED EQUAL). SEAL LIFTING HOLES INSIDE AND OUT.
ALL JOINTS BETWEEN SECTIONS SHALL BE SEALED BY "RAM-NEK", "RUB-R-NEK", OR OTHER APPROVED GASKET MATERIAL

BARREL JOINT MUST BE ABOVE HIGH GROUND WATER TABLE, OR SEAL WITH AN APPROVED JOINT EXTERIOR WATERPROOFING SYSTEM

ALL PIPE SHALL EXTEND MIN 1" AND MAX 2" INTO MANHOLE. GROUT INSIDE AND OUTSIDE OF ALL PIPES. (GROUT SHALL BE "RECRETE" OR APPROVED EQUAL).

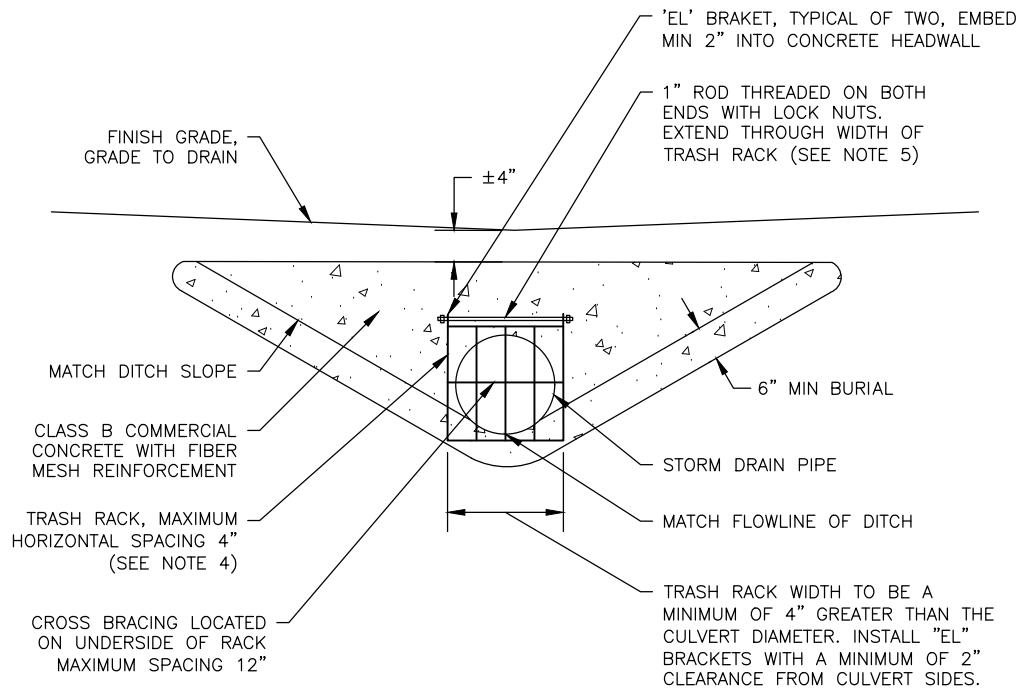
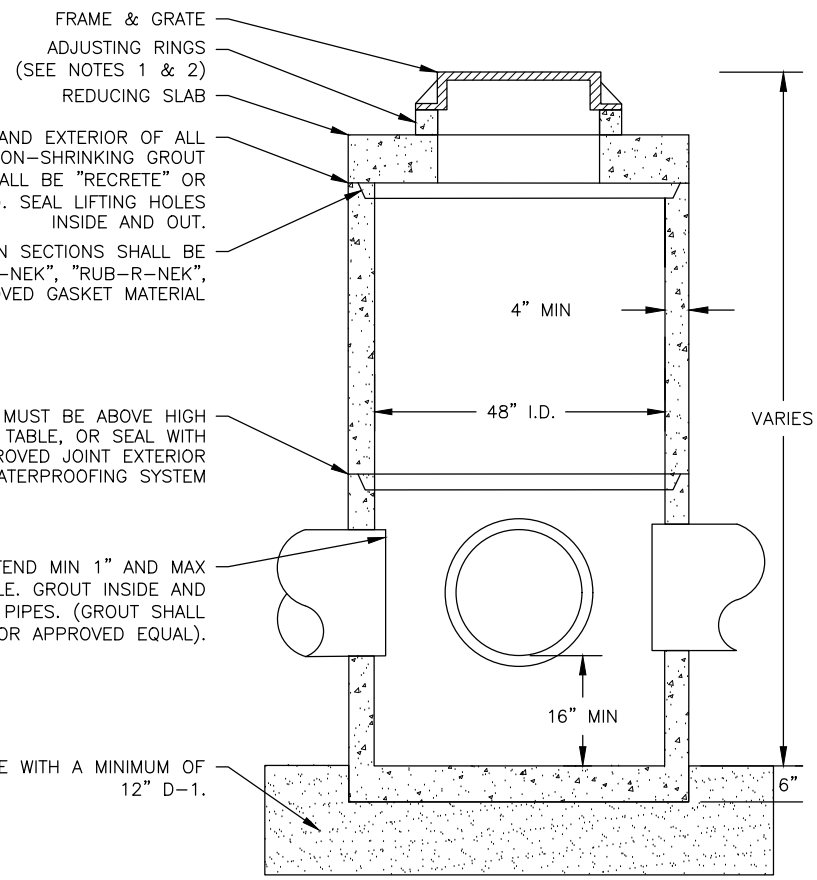
BED MANHOLE WITH A MINIMUM OF 12" D-1.

1 CONCENTRIC STORM DRAIN MANHOLE W/ REDUCING SLAB DETAIL - TYPE I

SCALE: NOT TO SCALE

DETAIL 1/6 NOTES:

- MANHOLES TO BE CAST WITH MINIMUM OF ONE 4" ADJUSTING RING REQUIRED TO ALLOW FOR MINOR CHANGES IN GRADE AS DIRECTED BY THE ENGINEER.
- THE AREA BETWEEN THE TOP OF THE MANHOLE AND THE FRAME SHALL BE FORMED AND FILLED WITH CONCRETE OR NON-SHRINK GROUT. NO BRICKS, WOOD OR OTHER MATERIALS PERMITTED FOR ADJUSTING GRADE.
- THE INSIDE EXPOSED SURFACE SHALL BE SMOOTH AND FREE OF VOIDS AND PROJECTIONS. THE CONSTRUCTED FRAME SUPPORT MUST MATCH THE INTERIOR OF THE FRAME INSTALLED AS APPROVED BY THE ENGINEER.
- FRAME AND GRATE SHALL BE DUCTILE IRON. FRAME MAY BE CAST INTO THE TOP UNIT OR PLACED OVER THE OPENING AS APPROVED BY THE ENGINEER. FRAME AND GRATE MUST BE OF A TYPE THAT WILL NOT CREATE A HAZARD FOR BICYCLE TRAFFIC.
- MANHOLE SHALL MEET HIGHWAY STANDARD-20 LOAD REQUIREMENTS.
- MINIMUM STEEL REQUIRED AS PER ASTM C-478-69.
- MINIMUM SUMP DEPTH SHALL BE 16".

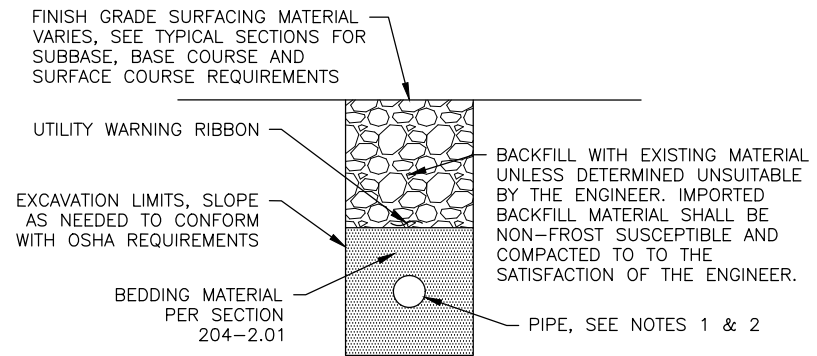
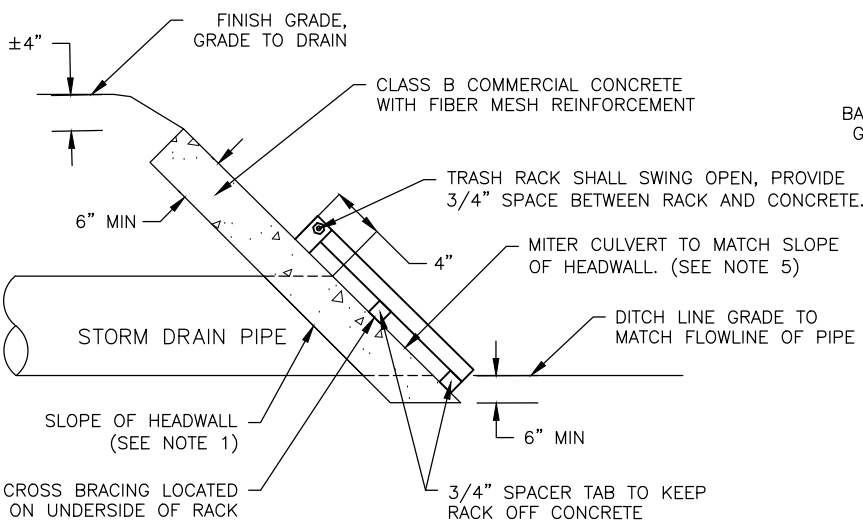


2 STANDARD CONCRETE HEADWALL DETAIL

SCALE: NOT TO SCALE

DETAIL 2/6 NOTES:

- SLOPE OF HEADWALL SHALL BE 1:1 OR FLATTER AND SHALL BE DETERMINED BY THE ENGINEER.
- IF CORRUGATED PLASTIC PIPE IS USED, EMPTY WATER FROM CORRUGATIONS ON MITERED ENDS AND THEN COMPLETELY FILL VOIDS WITH CONCRETE GROUT.
- NO HEADWALLS ARE TO BE CONSTRUCTED WITHIN DOT&PF RIGHT-OF-WAY UNLESS DIRECTED BY THE ENGINEER.
- TRASH RACKS SHALL BE REQUIRED ON HEADWALLS AT UPSTREAM ENDS OF CULVERTS NETERING CLOSED STORM DRAIN SYSTEMS, TRASH RACK BARS TO BE CONSTRUCTED OF 2" X 3/8" BARS, HEADWALLS THAT REQUIRE TRASH RACKS ARE IDENTIFIED ON THE PLAN SHEETS.
- ALL COMPONENTS OF THE TRASH RACK SHALL BE CONSTRUCTED OF EITHER 6061 ALUMINUM OR HOT DIPPED GALVANIZED STEEL.

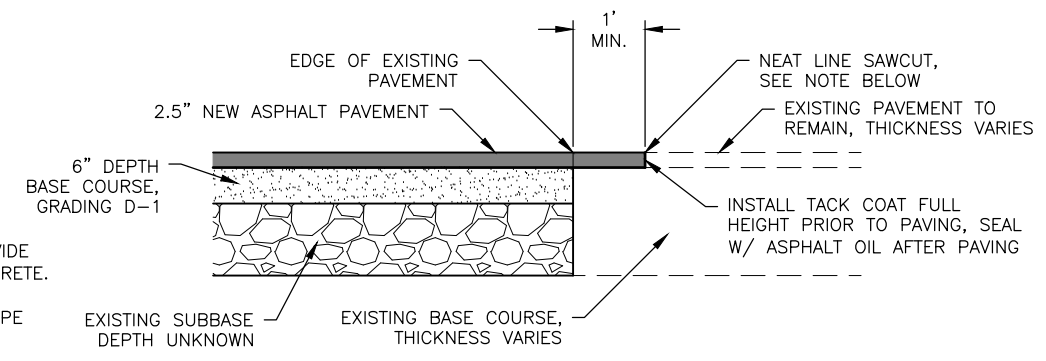


3 PIPE TRENCH DETAIL

SCALE: NOT TO SCALE

DETAIL 3/6 NOTES:

- FOR PIPE SIZE AND MATERIAL SEE CONSTRUCTION PLAN, SHEETS.
- PIPE TO HAVE MINIMUM 1' BEDDING IN EACH DIRECTION.

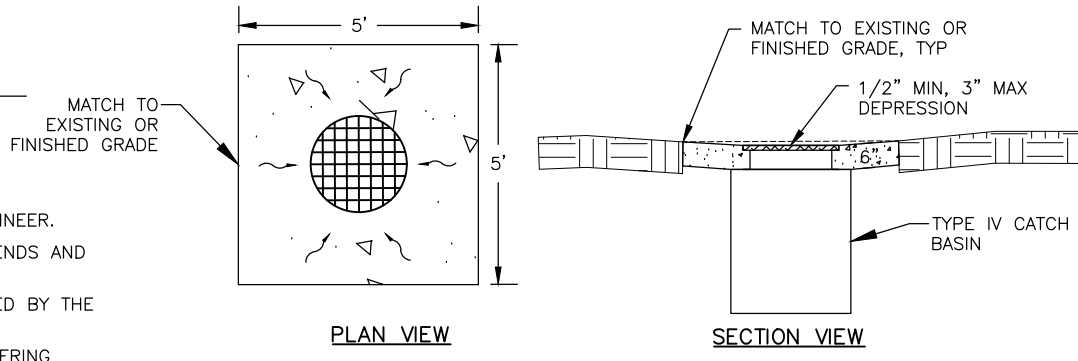


4 PAVEMENT MATCH JOINT

SCALE: NOT TO SCALE

DETAIL 4/6 NOTES:

- FINAL SAWCUT OF EXISTING ASPHALT SHALL NOT BE MADE UNTIL 24 HOURS PRIOR TO PAVING.



5 CONCRETE AREA DRAIN DETAIL

SCALE: NOT TO SCALE

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5TH TO 6TH AVENUE
DRAINAGE IMPROVEMENTS

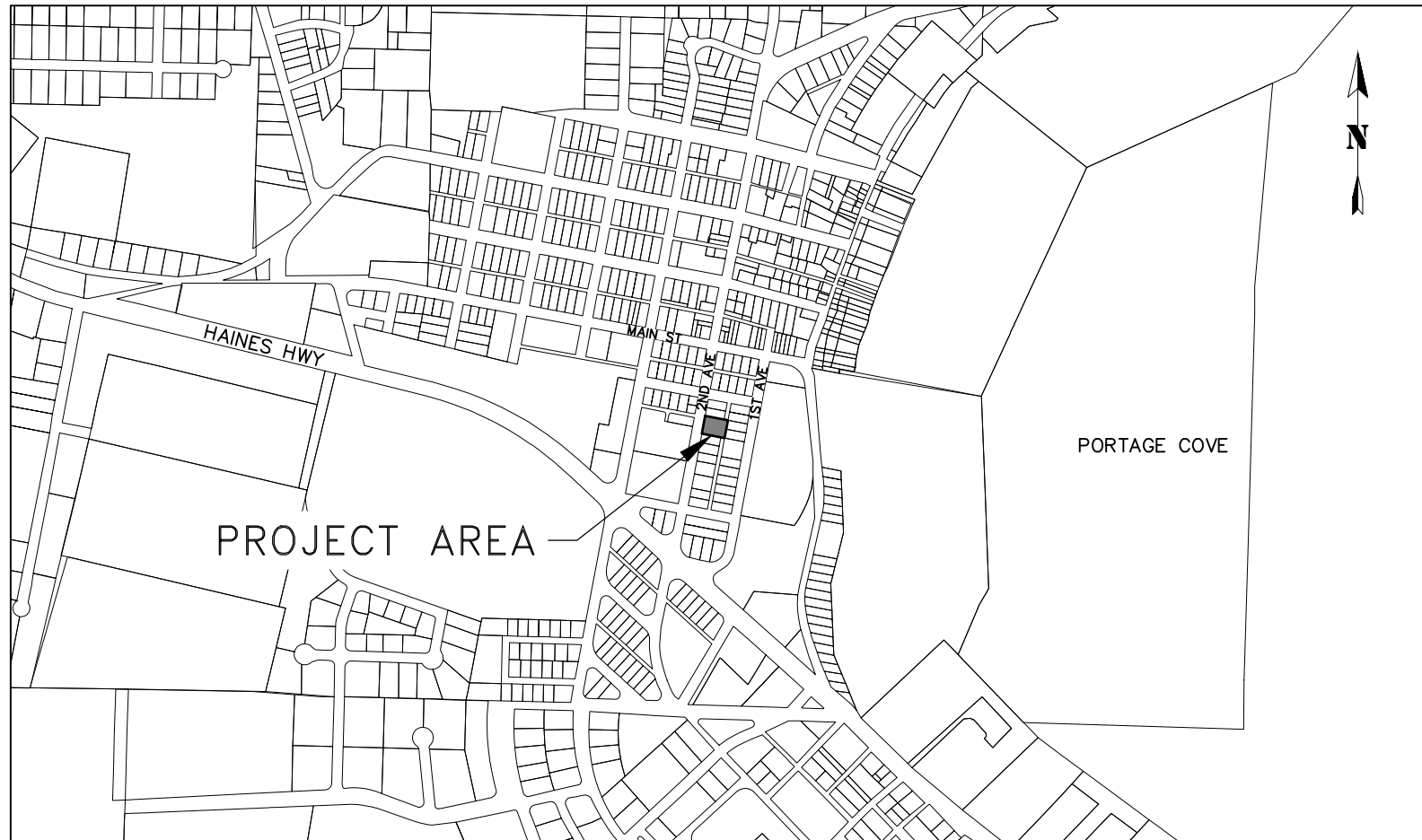
CONSTRUCTION
DETAILS

SHEET NUMBER
6
OF
7

HAINES BOROUGH VISITOR CENTER PARKING LOT

HAINES BOROUGH, ALASKA

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND ABBREVIATIONS GENERAL NOTES
3	EXISTING SITE CONDITIONS
4	SITE PLAN
5	CONSTRUCTION DETAILS
6	SURVEY CONTROL SHEET



PROJECT LOCATION MAP
NTS



ALASKA VICINITY MAP
NTS

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April 29, 2024

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HAINES BOROUGH VISITOR CENTER PARKING LOT

COVER SHEET

SHEET NUMBER
1
OF
6

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LEGEND

DESCRIPTION	EXISTING	REMOVE	PROPOSED
ASPHALT	EDGE OF ASPHALT		HATCHED AREA
BOLLARDS	• •		
BUILDING			
FLOW ARROW			
FLOW LINE	> >		> >
FENCE	x x x x x		
FIRE HYDRANT			
MONUMENT			
PROPERTY LINE	---		
SANITARY SEWER CLEANOUT	○		
SANITARY SEWER PIPE	PIPE SIZE & TYPE		
SANITARY SEWER MANHOLE			
SAWCUT & MTE LIMITS			---
SIGN			
STORM DRAIN CATCH BASIN			
STORM DRAIN PIPE	PIPE SIZE & TYPE SD	PIPE SIZE & TYPE SD	SD (P-1) SD
STORM DRAIN MANHOLE, GRATE			
CATCH BASIN WITH AREA DRAIN			
TOP OF DITCH	---		
UNDERGROUND PIPE CAP	[
UTILITY POLE	○		
UTILITY POLE WITH LUMINAIRE	○		
WATER LINE PIPE	PIPE SIZE & TYPE		
WATER VALVE BOX			

ABBREVIATIONS

AC	ASPHALT CONCRETE
BOP	BEGINNING OF PROJECT
BTM	BOTTOM
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
EA	EDGE OF ASPHALT
EL	ELEVATION
EOP	END OF PROJECT
EX	EXISTING
FG	FINISHED GRADE
FH	FIRE HYDRANT
GV	GATE VALVE
HB	HAINES BOROUGH
HDPE	HIGH DENSITY POLYETHYLENE
IE	INVERT ELEVATION
INV	INVERT
LT	LEFT
LVC	LENGTH OF VERTICAL CURVE
MH	MANHOLE
MIN	MINIMUM
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OHE	OVERHEAD ELECTRIC
PSI	POUNDS PER SQUARE INCH
PVI	POLYVINYL CHLORIDE PIPE
RP	RADIUS POINT
RT	RIGHT
ROW	RIGHT-OF-WAY
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TBM	TEMPORARY BENCHMARK
TP	TOP OF PAVEMENT
TP	TYPICAL

GENERAL NOTES

- ALL WORK FOR THESE PLANS SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND STANDARDS.
- LOCATIONS AND ELEVATION OF EXISTING UNDERGROUND WATER, SEWER, POWER, TELEPHONE AND CABLE TELEVISION SHOWN ON THE PLANS WERE DERIVED FROM HAINES BOROUGH AS-BUILTS AND FIELD LOCATES. THE ACTUAL LOCATION OF UTILITIES MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING EXISTING UTILITIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE TO UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL CONTACT AND REQUEST UTILITY LOCATES, AT A MINIMUM, FROM THE FOLLOWING PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES:
 - A) HAINES BOROUGH PUBLIC FACILITIES, 907-766-6414.
 - B) ALASKA POWER & TELEPHONE(AP&T), 907-766-6500.
 - C) HAINES CABLE TV, 907-766-2337.
- A GEOTECHNICAL INVESTIGATION WAS NOT PERFORMED AS PART OF THIS DESIGN. HARDPAN, CLAY, GROUNDWATER, LARGE BOULDERS, BEDROCK, STUMPS, LOGS, ORGANICS, AND OTHER NATIVE MATERIALS MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING AND SITE GRADING OPERATIONS.
- THE TOTAL DISTURBED AREA FOR THIS PROJECT IS ANTICIPATED TO BE LESS THAN ONE ACRE.
- ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING CONDITIONS AND GRADES, AND STABILIZED WITH AN APPROVED HYDRAULIC GROWTH MEDIUM AND GRASS SEED UNLESS OTHERWISE SHOWN ON THE PLANS.
- CONTRACTOR SHALL ENSURE GARBAGE PICKUP, PRIVATE AND BUSINESS DELIVERIES, AND DAILY MAIL SERVICE WILL BE UNINTERRUPTED TO ALL BUSINESS AND RESIDENCES AFFECTED BY THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY EACH PROPERTY OWNER OF DRIVEWAY CLOSURE 48 HOURS PRECEDING THE DAY THE DRIVEWAY IS TO BE CLOSED TO VEHICULAR ACCESS. THE PROPERTY OWNER SHALL BE INFORMED OF THE PERIOD OF TIME THE CLOSURE WILL BE IN EFFECT. NO DRIVEWAY CLOSURES WILL BE PERMITTED UNTIL THIS REQUIREMENT HAS BEEN MET TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT WITH ITS TRACKS OR WHEELS PLACED ON PRIVATE PROPERTY, WITHOUT THE APPROVAL OF THE PROPERTY OWNER.
- THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS. ALL OTHER MATERIALS TO BE REMOVED AND DISPOSED OF SHALL BECOME THE PROPERTY OF THE CONTRACTOR, INCLUDING CONCRETE, ASPHALT, UNSUITABLE SOILS AND ETC.
- WORK SHALL BE PERFORMED MONDAY THROUGH FRIDAY, 8AM TO 5PM ONLY.

TRAFFIC CONTROL NOTES

- ALL TRAFFIC TO BE CONTROLLED PER REQUIREMENTS OF THE ALASKA TRAFFIC MANUAL, U.S. DEPARTMENT OF TRANSPORTATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE ALASKA SUPPLEMENT.
- MAINTAIN ONE (1) LANE FOR TRAFFIC AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- NOTIFICATION OF WORK THAT MAY IMPEDE TRAFFIC MUST BE PROVIDED TO THE HB PUBLIC WORKS DEPARTMENT, HB POLICE DEPARTMENT, HAINES VOLUNTEER FIRE DEPARTMENT, CHILKOOT INDIAN ASSOCIATION, ALASKA DOT&PF HAINES M&O FOREMAN, AND THE GENERAL PUBLIC A MINIMUM OF 72 HOURS IN ADVANCE OF IMPLEMENTING TRAFFIC CONTROL.
- CONTRACTOR MUST PROVIDE ALL NECESSARY SIGNS AND TRAFFIC CONTROL DEVICES TO MOVE TRAFFIC THROUGH OR AROUND THE PROJECT SITE.
- PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.

STANDARD SPECIFICATION

PERFORM THE WORK SHOWN BY THESE PLANS IN ACCORDANCE WITH THE ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES 2020 STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE PROJECT MANUAL.

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



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HAINES BOROUGH VISITOR
 CENTER PARKING LOT

LEGEND
 ABBREVIATIONS
 GENERAL NOTES

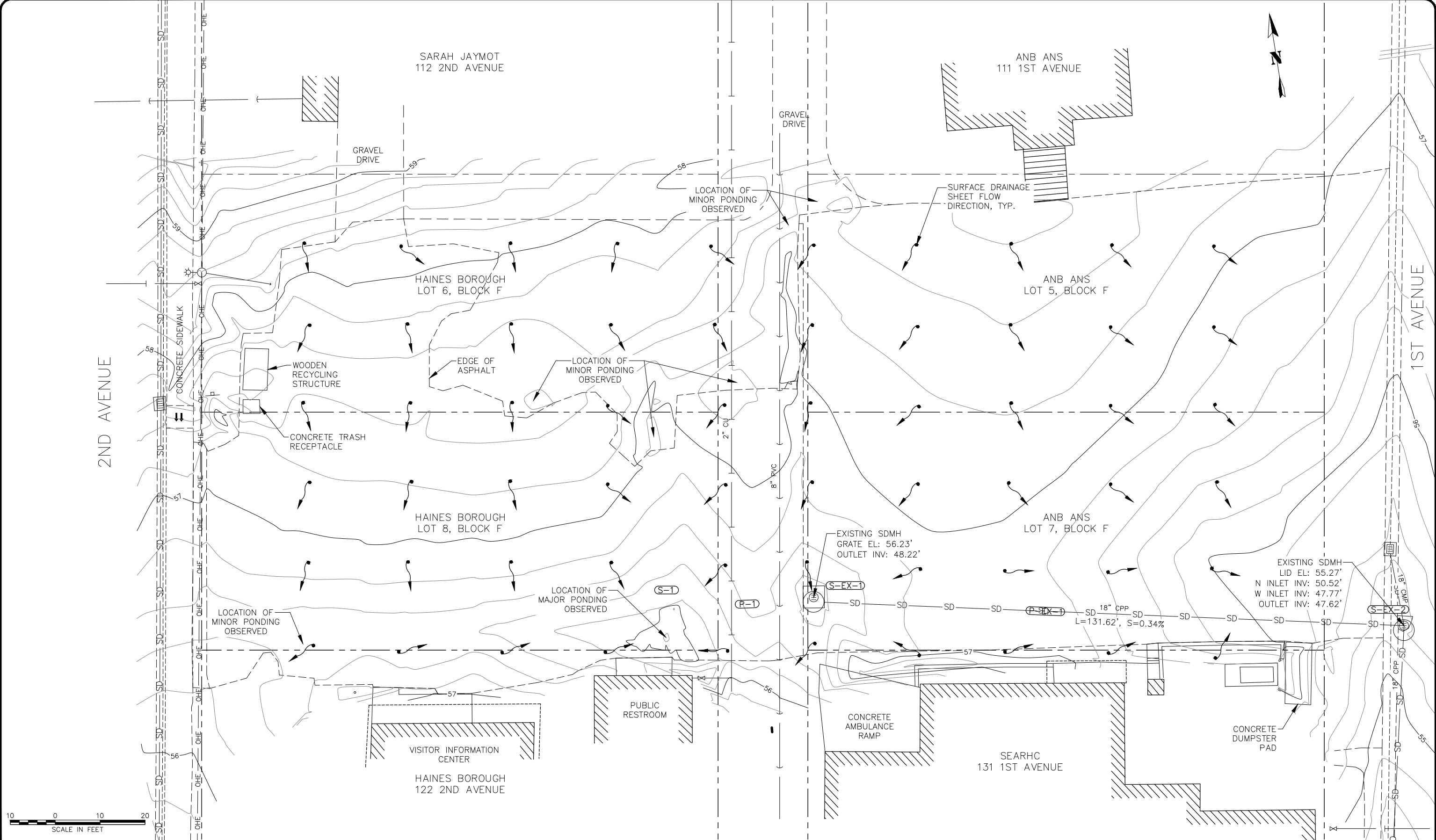
SHEET NUMBER
2
OF
6

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April 29, 2024



2ND AVENUE

1ST AVENUE

SARAH JAYMOT
112 2ND AVENUE

ANB ANS
111 1ST AVENUE

HAINES BOROUGH
LOT 6, BLOCK F

ANB ANS
LOT 5, BLOCK F


HAINES BOROUGH
LOT 8, BLOCK F

ANB ANS
LOT 7, BLOCK F

HAINES BOROUGH
122 2ND AVENUE

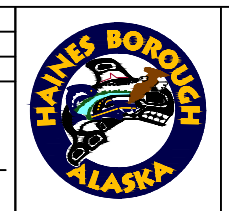
SEARHC
131 1ST AVENUE

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HAINES BOROUGH VISITOR CENTER PARKING LOT

EXISTING SITE CONDITIONS

SHEET NUMBER	3
OF	6

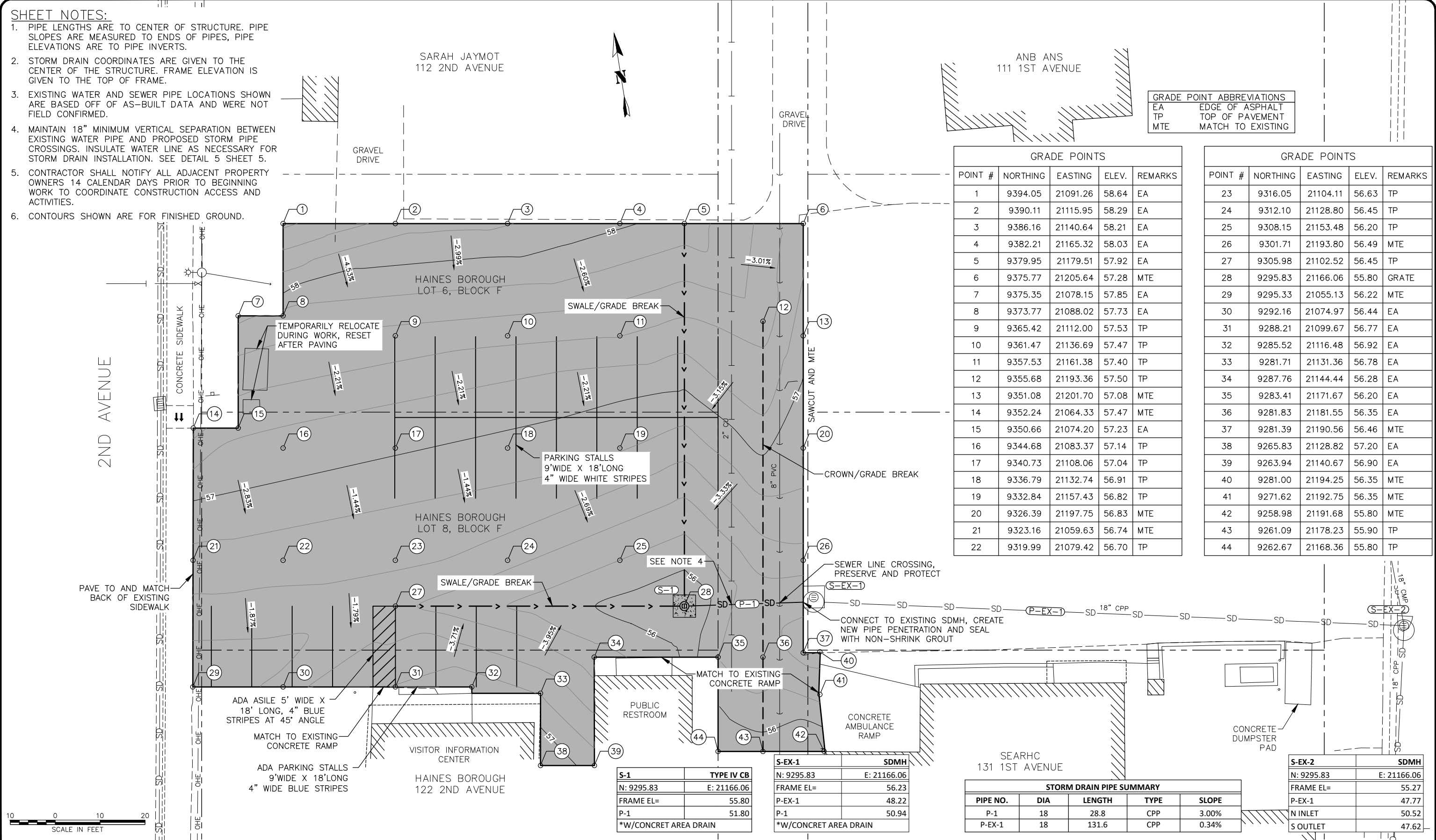
SHEET NOTES:

1. PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES, PIPE ELEVATIONS ARE TO PIPE INVERTS.
2. STORM DRAIN COORDINATES ARE GIVEN TO THE CENTER OF THE STRUCTURE. FRAME ELEVATION IS GIVEN TO THE TOP OF FRAME.
3. EXISTING WATER AND SEWER PIPE LOCATIONS SHOWN ARE BASED OFF OF AS-BUILT DATA AND WERE NOT FIELD CONFIRMED.
4. MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN EXISTING WATER PIPE AND PROPOSED STORM PIPE CROSSINGS. INSULATE WATER LINE AS NECESSARY FOR STORM DRAIN INSTALLATION. SEE DETAIL 5 SHEET 5.
5. CONTRACTOR SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS 14 CALENDAR DAYS PRIOR TO BEGINNING WORK TO COORDINATE CONSTRUCTION ACCESS AND ACTIVITIES.
6. CONTOURS SHOWN ARE FOR FINISHED GROUND.

GRADE POINT ABBREVIATIONS	
EA	EDGE OF ASPHALT
TP	TOP OF PAVEMENT
MTE	MATCH TO EXISTING

GRADE POINTS				
POINT #	NORTHING	EASTING	ELEV.	REMARKS
1	9394.05	21091.26	58.64	EA
2	9390.11	21115.95	58.29	EA
3	9386.16	21140.64	58.21	EA
4	9382.21	21165.32	58.03	EA
5	9379.95	21179.51	57.92	EA
6	9375.77	21205.64	57.28	MTE
7	9375.35	21078.15	57.85	EA
8	9373.77	21088.02	57.73	EA
9	9365.42	21112.00	57.53	TP
10	9361.47	21136.69	57.47	TP
11	9357.53	21161.38	57.40	TP
12	9355.68	21193.36	57.50	TP
13	9351.08	21201.70	57.08	MTE
14	9352.24	21064.33	57.47	MTE
15	9350.66	21074.20	57.23	EA
16	9344.68	21083.37	57.14	TP
17	9340.73	21108.06	57.04	TP
18	9336.79	21132.74	56.91	TP
19	9332.84	21157.43	56.82	TP
20	9326.39	21197.75	56.83	MTE
21	9323.16	21059.63	56.74	MTE
22	9319.99	21079.42	56.70	TP

GRADE POINTS				
POINT #	NORTHING	EASTING	ELEV.	REMARKS
23	9316.05	21104.11	56.63	TP
24	9312.10	21128.80	56.45	TP
25	9308.15	21153.48	56.20	TP
26	9301.71	21193.80	56.49	MTE
27	9305.98	21102.52	56.45	TP
28	9295.83	21166.06	55.80	GRATE
29	9295.33	21055.13	56.22	MTE
30	9292.16	21074.97	56.44	EA
31	9288.21	21099.67	56.77	EA
32	9285.52	21116.48	56.92	EA
33	9281.71	21131.36	56.78	EA
34	9287.76	21144.44	56.28	EA
35	9283.41	21171.67	56.20	EA
36	9281.83	21181.55	56.35	EA
37	9281.39	21190.56	56.46	MTE
38	9265.83	21128.82	57.20	EA
39	9263.94	21140.67	56.90	EA
40	9281.00	21194.25	56.35	MTE
41	9271.62	21192.75	56.35	MTE
42	9258.98	21191.68	55.80	MTE
43	9261.09	21178.23	55.90	TP
44	9262.67	21168.36	55.80	TP



S-1	TYPE IV CB
N: 9295.83	E: 21166.06
FRAME EL=	55.80
P-1	51.80
*W/CONCRET AREA DRAIN	

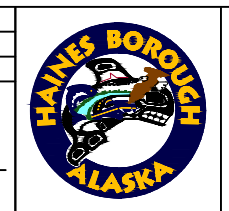
S-EX-1	SDMH
N: 9295.83	E: 21166.06
FRAME EL=	56.23
P-EX-1	48.22
P-1	50.94
*W/CONCRET AREA DRAIN	

STORM DRAIN PIPE SUMMARY				
PIPE NO.	DIA	LENGTH	TYPE	SLOPE
P-1	18	28.8	CPP	3.00%
P-EX-1	18	131.6	CPP	0.34%

S-EX-2	SDMH
N: 9295.83	E: 21166.06
FRAME EL=	55.27
P-EX-1	47.77
N INLET	50.52
S OUTLET	47.62

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

proHNS LLC
 CERTIFICATE OF AUTHORIZATION #100662
 219 MAIN ST #13
 HAINES, AK 99827
 2201 DUNN STREET #2
 JUNEAU, AK 99801
 (907) 780-4004
 solutions@proHNS.com
 www.proHNS.com



HAINES BOROUGH VISITOR CENTER PARKING LOT

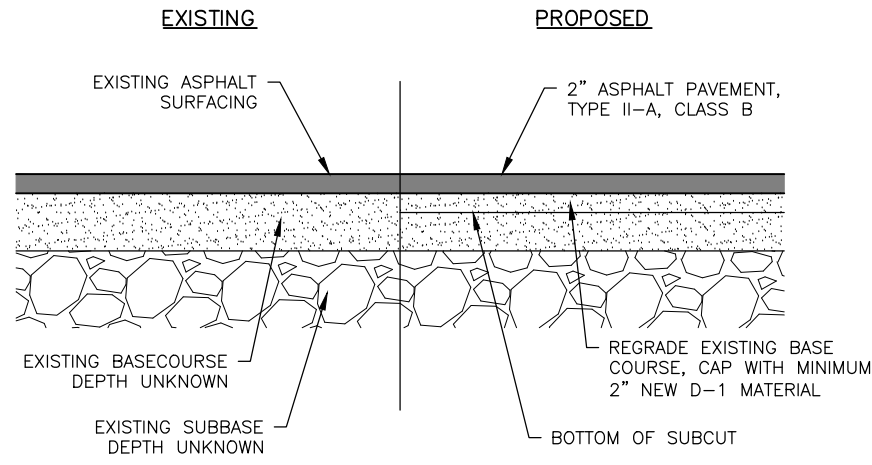
SITE PLAN

SHEET NUMBER
4
 OF
6

April 29, 2024
 c:\Users\ethanroemel\prohns dropbox\Projects\Haines\hb_visitor_center_parking_lot\c3d_visitor_center_parking_lot\c3d_visitor_center_parking_lot_SITE.dwg

95% DRAFT
 FOR REVIEW ONLY

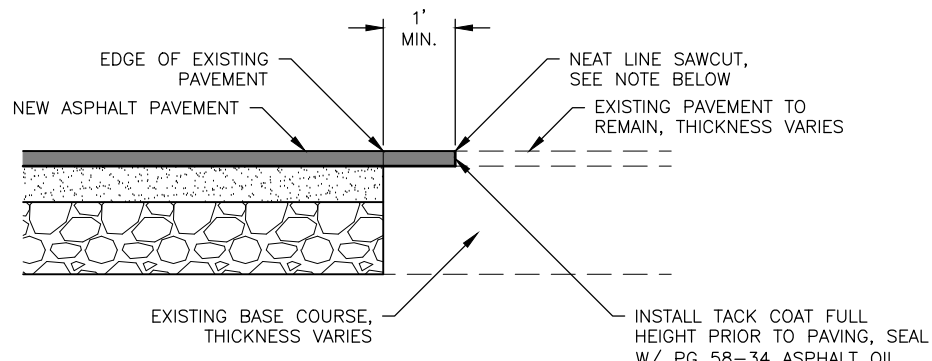
c:\Users\ethanroemeling\prohns dropbox\Projects\Haines\hb_visitor_center_parking_lot\c3d_visitor_center_parking_lot\DETAILS.dwg



1 PARKING AREA TYPICAL SECTION
 SCALE: NOT TO SCALE

DETAIL 1/5 NOTES:

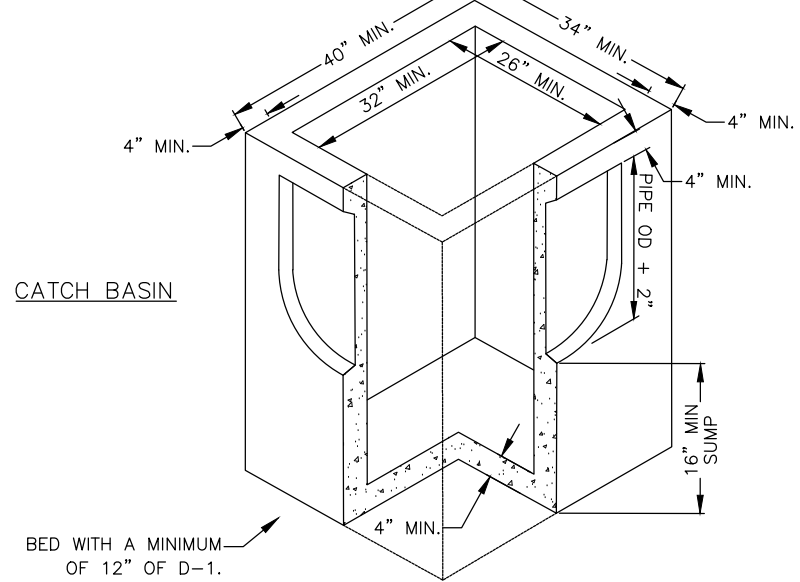
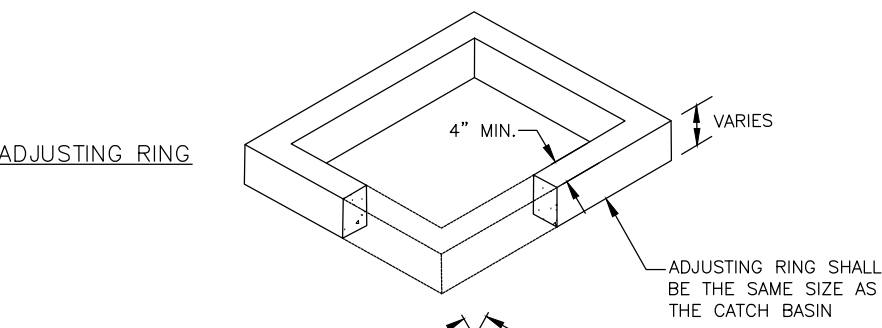
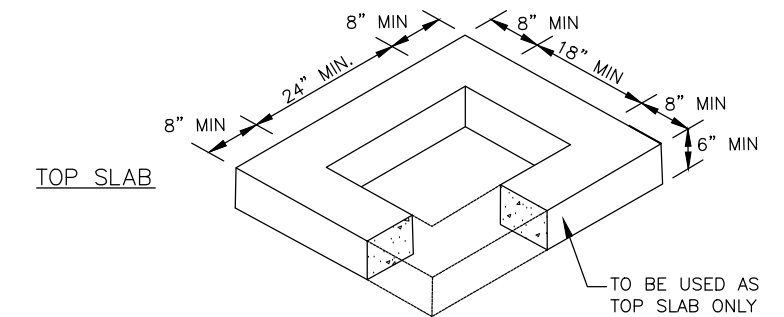
1. COMPACT D-1 BASE COURSE TO MINIMUM 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557)
2. PROOF ROLL BOTTOM OF SUBCUT EXCAVATION SHALL BE PERFORMED USING A MINIMUM 10-TON SELF PROPELLED VIBRATORY COMPACTOR. A MINIMUM OF TWO (2) PASSES (ONE PASS EQUALS DOWN AND BACK) SHALL BE MADE OVER THE SUBCUT SOILS AND AS APPROVED BY THE ENGINEER.



2 PAVEMENT MATCH JOINT
 SCALE: NOT TO SCALE

DETAIL 2/5 NOTES:

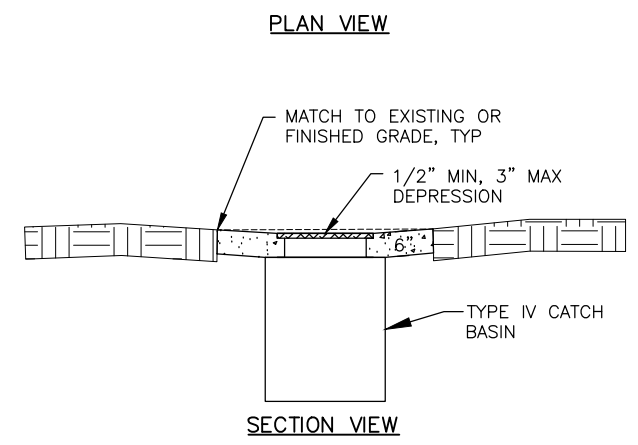
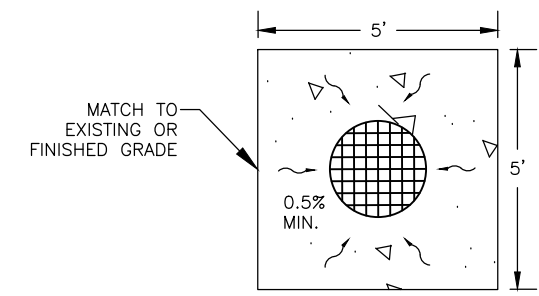
1. FINAL SAWCUT OF EXISTING ASPHALT SHALL NOT BE MADE UNTIL 24 HOURS PRIOR TO PAVING.



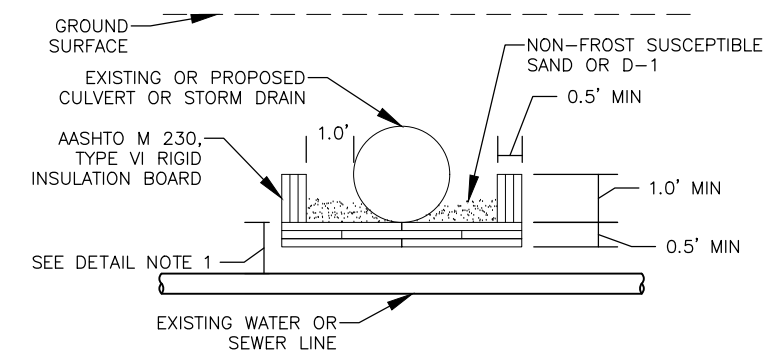
3 INLET, TYPE IV
 SCALE: NOT TO SCALE

DETAIL 3/5 NOTES:

1. ENTIRE KNOCKOUT IS TO BE REMOVED AND SEALED SHUT AROUND PIPE. ALL PIPES ARE TO EXTEND MIN. 1" AND MAX. 2" INTO CATCH BASIN.
2. THE AREA BETWEEN THE TOP OF THE CATCH BASIN AND THE FRAME SHALL BE FORMED AND FILLED WITH CONCRETE OR NON-SHRINK GROUT. NO BRICKS, WOOD OR OTHER MATERIALS PERMITTED FOR ADJUSTING GRADE.
3. FRAME AND GRATE SHALL BE DUCTILE IRON. FRAME MAY BE CAST INTO THE TOP UNIT OR PLACED OVER THE OPENING AS APPROVED BY THE ENGINEER. FRAME AND GRATE MUST BE OF A TYPE THAT WILL NOT CREATE A HAZARD FOR BICYCLE TRAFFIC.
4. CATCH BASIN SHALL MEET HIGHWAY STANDARD-20 LOAD REQUIREMENTS.
5. MINIMUM STEEL REQUIRED AS PER ASTM C-478-69.
6. MINIMUM SUMP DEPTH SHALL BE 16".



4 CONCRETE AREA DRAIN DETAIL
 SCALE: NOT TO SCALE



5 WATER LINE INSULATION DETAILS
 SCALE: NOT TO SCALE

DETAIL 5/5 NOTES:

1. INSTALL INSULATION AS SHOWN WHEN DISTANCE IS LESS THAN 6.0'.
2. PIPE INSULATION SHALL BE 8'-0" IN LENGTH, CENTERED OVER WATER LINE OR WATER SERVICE.
3. PIPE INSULATION WITH R-FACTOR EQUAL TO RIGID BOARD MAY BE SUBSTITUTED IF APPROVED BY THE ENGINEER.
4. CROSSING SHALL BE PROTECTED WITH A MINIMUM 6" OF INSULATION BOARDS WITH A 12" OVERLAP, AS SHOWN.

April 29, 2024
 95%
 DRAFT
 FOR REVIEW ONLY

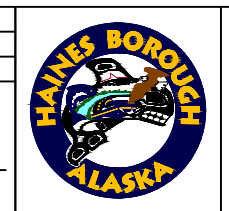
RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

proHNS LLC
 CERTIFICATE OF AUTHORIZATION #100662

DRAWN BY: E. ROEMELING
 DESIGNED BY: E. ROEMELING
 CHECKED BY: L. CHAMBERS

219 MAIN ST #13
 HAINES, AK 99827
 2201 DUNN STREET #2
 JUNEAU, AK 99801
 (907) 780-4004

solutions@proHNS.com
 www.proHNS.com



HAINES BOROUGH VISITOR
 CENTER PARKING LOT

CONSTRUCTION
 DETAILS

SHEET NUMBER
 5
 OF
 6



Draft Revision

2024 Regular Planning Commission Meeting Agenda Preparation Calendar

CUP, Variance, Platting Action, Rezone, Section Line and Easement Vacations Items due to Borough HBC 18.30.020 5:00 pm	CUP, etc. Notice to CVN & Notification Letters out 5:00 pm	Other Agenda Topics & Borough Projects to Borough (Must be to CVN for publication one week prior- HBC 18.20.020 HBC 18.30.040) 5:00 PM	PC Chair Approval - Agenda & Packet Documents FINAL 10:00am	Agenda Packet Published & Distributed 5:00pm	PC Meeting 6:30pm
<i>[Monday- 2 weeks before PC Meeting week]</i>	<i>[To CVN Tuesday, mail out notices by Wednesday- 10 business days prior to PC Mtg]</i>	<i>[Monday - in newspaper 5 days prior to PC Mtg]</i>	<i>[Wednesday prior to PC Mtg.]</i>	<i>[Friday prior to PC Mtg.]</i>	2024
Jun 3	Jun 5	Jun 10	Jun 12	Jun 14	Jun 20
Jul 1	Jul 3	July 8	Jul 10	Jul 12	July 18
Jul 29	Jul 31	Aug 5	Aug 7	Aug 9	Aug 15
Sep 3*	Sep 4	Sept 9	Sep 11	Sep 13	Sep 19
Sep 30	Oct 2	Oct 7	Oct 9	Oct 11	Oct 17
Nov 4	Nov 6	Nov 12*	Nov 13	Nov 15	Nov 21
Dec 2	Dec 4	Dec 9	Dec 11	Dec 13	Dec 19

- * Sept 2nd --> 3rd adjusted for Labor Day
- * November 11th --> 12th adjusted for Veteran's Day



Capital Improvement Projects (CIP) Six-Year Plan FY25-FY30

12D

Year	Department/Facility	Description	Cost	Funding Source
FY25	Chilkat Center	Project, Sidewalk & Ramp Repairs	\$15,000	CIP
FY25	Downtown Core	Conceptual Design, Haines Core Development Town Square	\$30,000	CIP
FY25	Dispatch	Project, Radio Site Modifications & Improvements	\$88,000	CIP
FY25	Facilities	Sinking Fund, Deferred Maintenance	\$25,000	CIP
FY25	Fire HVFD	Sinking Fund, Equipment (SCBA 5 of 20)	\$14,000	CIP
FY25	Harbor	Project, Replace Letnikov of Float	\$5,000,000	Harbor /CIP \$110K / PIDP
FY25	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP
FY25	IT	Project, IT Wireless Upgrades Phase II	\$15,000	ARPA
FY25	IT	Project, IT Firewall Replacement	\$22,000	ARPA
FY25	IT/Library	Project, Library Security Upgrades	\$46,000	ARPA
FY25	Parks	Conceptual Design, Ice Rink, Tennis, Pickle ball Court	\$35,000	CIP
FY25	PC Dock	Design, Continue to Develop Floating Dock Design	\$100,000	CPV
FY25	PC Dock	Project, Fender Refurbishment	\$498,000	CPV \$250K/Fund 94 \$248K SOA CPV Request \$1.1M
FY25	Public Works	Project, Covered Storage for PW Yard	\$34,000	CIP
FY25	Public Works	Project, Dalton Hill Repairs	\$427,574	FEMA
FY25	Public Works	Project, Cathedral View Drive	\$1,348,090	FEMA
FY25	Public Works	Project, Second Avenue	\$3,009,530	FEMA
FY25	Public Works	Project, Citywide Culverts & Minor Road Repairs	\$1,078,950	FEMA
FY25	Public Works	Project, Additional for 5th & 6th Ave Drainage	\$46,500	CIP
FY25	Public Works	Project, East Mathias Ave Realignment	\$385,000	CIP
FY25	Public Works	Project, Road Improvements	\$120,000	CIP
FY25	RMSA	Project, Matching Funds for RMSA Road Improvements	\$50,000	CIP
FY25	Sewer	Project, WWTP Influent Upgrade	\$1,876,000	DEC Loan/Grants
FY25	Sewer	Project, Implement Recommendations from I & I Study	\$50,000	CIP
FY25	Water	Project, Water Service & Main Repair / Upgrades	\$50,000	CIP
FY25	Sewer/Water	Project, Dalton Street Work Not Covered by FEMA	\$70,000	CIP
FY25	Water	Project, Piedad WTP Upgrades	\$25,000	CIP
FY25	Water	Project, Lily Lake Treatment Plant Upgrade	\$1,300,000	DEC Loan/Grants
Summary				
FY26	Admin Building	Design, Final Design Administration Bldg Expansion	\$200,000	CIP
FY26	Admin Building	Purchase, Community Notification Sign to Publicize Meeting	\$20,000	CIP
FY26	Chilkat Center	Design, Chilkat Center HVAC	\$60,000	CIP
FY26	Facilities	Sinking Fund, Building Improvements	\$100,000	CIP
FY26	Facilities	Sinking Fund, Deferred Maintenance	\$25,000	CIP
FY26	Facilities	Project, Lutak Storage Shed Finishing	\$100,000	CIP
FY26	Fire HVFD	Purchase, Type 6 Wildland Fire Vehicle	\$150,000	HVFD/Sinking Fund
FY26	Fire HVFD	Sinking Fund, Equipment (SCBA 6 of 20)	\$14,000	CIP
FY26	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP
FY26	Harbor	Engineering, Harbor Float / Drive Down 35% Design	\$500,000	Harbor /CIP going after fed
FY26	Library	Purchase, One-man Bucket Electric Z Lift	\$50,000	CIP
FY26	Parks	Project, Softball Field Improvements	\$474,000	CIP



Capital Improvement Projects (CIP) Six-Year Plan FY25-FY30

Year	Department/Facility	Description	Cost	Funding Source
FY26	PC Dock	Design, Final Design Floating Dock	\$700,000	CPV/Grants/Port Fee
FY26	Police	Purchase, Police Patrol Vehicle	\$80,000	CIP
FY26	Pool	Project, Replace Pool Roof	\$250,000	CIP
FY26	Pool	Design, Pool HVAC Replacement	\$140,000	CIP
FY26	Public Safety Bldg	Project, Public Safety Building	\$31,100,000	CIP/Grants/Loans/Bonds
FY26	Public Works	Project, Road Improvements	\$200,000	CIP
FY26	Public Works	Project, Lily Lake Road	\$461,179	FEMA
FY26	Public Works	Sinking Fund, Heavy Equipment	\$160,000	CIP
FY26	Sewer	Project, Implement Recommendations from I & I Study	\$100,000	CIP/Enterprise Funds
FY26	Sewer	Project, Clarifier & Tank Reconditioning	\$560,000	CIP/Enterprise Funds
FY26	Sewer	Project, Beach Rd & 1 Mile Lift Station Aux. Power	\$460,000	CIP
FY26	Sewer/Water	Project, Water and Sewer Repairs/Upgrades	\$150,000	CIP
FY26	Water	Project, Water Lift Station Auxiliary Power	\$174,000	CIP
FY26	Water	Engineering, Hemlock Estates Water Main Loop	\$20,000	CIP
FY27	Admin Building	Project, Administration Building Expansion		CIP/Grants
FY27	Chilkat Center	Project, Chilkat Center Painting	\$213,000	CIP
FY27	Chilkat Center	Sinking Fund, Chilkat Center HVAC Upgrade	\$220,000	CIP
FY27	Facilities	Sinking Fund, Maintenance Deferred	\$25,000	CIP
FY27	Fire HVFD	Sinking Fund, Fire Truck	\$15,000	CIP
FY27	Fire HVFD	Sinking Fund, Equipment (SCBA 7 of 20)	\$14,000	CIP
FY27	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP
FY27	Harbor	Project, Lutak Boat Ramp	\$150,000	CIP
FY27	Harbor	Engineering, Harbor Float / Drive Down Full Design	\$750,000	Harbor /CIP
FY27	Parks	Project, Portage Cove Interpretive Trail 1 & 6a	\$896,000	DOT \$815K/ CIP \$81K
FY27	PC Dock	Project, PC Floating Dock	\$10,000,000	CPV/Grants/Port Fee
FY27	Pool	Project, HVAC Replacement	\$1,400,000	CIP
FY27	Police	Design, Impound Yard	\$52,520	CIP
FY27	Public Works	Purchase, Excavator	\$120,000	CIP
FY27	Public Works	Project, Road Improvements	\$200,000	CIP
FY27	Public Works	Sinking Fund, Heavy Equipment	\$160,000	CIP
FY27	School	Project, Locker Room Remodel	\$1,000,000	AK DEED / CIP
FY27	School	Project, Soccer Field Lift	\$75,000	CIP
FY27	Sewer	Project, Implement Recommendations from I & I Study	\$100,000	CIP/Enterprise Funds
FY27	Sewer/Water	Project, Water and Sewer Repairs/Upgrades	\$150,000	CIP
FY27	Water	Project, Extend Water Main Small Tracts	\$1,890,000	LID/DEC Loan
FY27	Water	Project, Well Field Auxiliary Power	\$115,000	CIP
FY28	Chilkat Center	Sinking Fund, Chilkat Center HVAC Upgrade	\$220,000	CIP
FY28	Facilities	Sinking Fund, Deferred Maintenance	\$25,000	CIP
FY28	Fire HVFD	Sinking Fund, Fire Truck	\$15,000	CIP
FY28	Fire HVFD	Sinking Fund, Equipment (SCBA 8 of 20)	\$14,000	CIP
FY28	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP



Capital Improvement Projects (CIP) Six-Year Plan FY25-FY30

Year	Department/Facility	Description	Cost	Funding Source
FY28	Harbor	Project, Drive Down Work Float and Transfer Bridge	\$8,200,000	DOT/Harbor Fund/CIP
FY28	Parks	Project, Ice Rink/Tennis/Pickle ball Court	\$1,000,000	CIP/Grants
FY28	Police	Purchase, Police Patrol Vehicle	\$85,000	CIP
FY28	Public Works	Project, Road Improvements	\$200,000	CIP
FY28	Public Works	Sinking Fund, Heavy Equipment	\$165,000	CIP
FY28	Sewer	Project, Implement Recommendations from I & I Study	\$100,000	CIP/Enterprise Funds
FY28	Sewer	Project, Highland Estates Sewer Extension	\$935,000	LID/CIP/DEC Loan
FY28	Sewer/Water	Project, Water and Sewer Repairs/Upgrades	\$150,000	CIP
FY28	Water	Project, Water Line - FAA/Mt Riley	\$1,000,000	DEC/LID/CIP
FY29	Facilities	Sinking Fund, Deferred Maintenance	\$25,000	CIP
FY29	Fire HVFD	Sinking Fund, Fire Truck	\$15,000	CIP
FY29	Fire HVFD	Sinking Fund, Equipment (SCBA 9 of 20)	\$15,000	CIP
FY29	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP
FY29	Public Works	Project, Road Improvements	\$200,000	CIP
FY29	Public Works	Sinking Fund, Heavy Equipment	\$170,000	CIP
FY29	Sewer/Water	Project, Water and Sewer Repairs/Upgrades	\$150,000	CIP
FY30	Facilities	Sinking Fund, Deferred Maintenance	\$25,000	CIP
FY30	Fire HVFD	Sinking Fund, Fire Truck	\$15,000	CIP
FY30	Fire HVFD	Sinking Fund, Equipment (SCBA 10 of 20)	\$15,000	CIP
FY30	Harbor	Sinking Fund, Harbor Breakwater Anodes	\$30,000	CIP
FY30	Police	Purchase, Police Patrol Vehicle	\$90,000	CIP
FY30	Public Works	Project, Road Improvements	\$200,000	CIP
FY30	Public Works	Sinking Fund, Heavy Equipment	\$176,000	CIP
FY30	Sewer/Water	Project, Water and Sewer Repairs/Upgrades	\$150,000	CIP



Haines Borough

Planning and Zoning

103 Third Ave. S., Haines, Alaska, 99827

Telephone: (907) 766-6401 * Fax: (907) 766-2716

LAND USE PERMIT APPLICATION

24-24

\$50 Non-Refundable Fee

Permit #

I. Owner/Authorized Representative		Owner's Contractor(If Any)	
Name: JOANNE WATERMAN		Name:	
Mailing Address: Box 853		Haines Borough Business License #:	
Contact Phone: Day Night 907-303-7000		Alaska Business License #:	
Fax:		Contractor's License #:	
E-mail:		Mailing Address:	
		Contact Phone: Day Night	
		Fax:	
		E-mail:	
II. Property Information			
Property Tax ID #: C-PTC-OB-0100			
Size of Property: Big			
Site Street Address: (If Any) 15 Fort SEWARD Dr.			
Legal Description: Lot (s) _____ Block _____ Subdivision _____			
OR Parcel/Tract _____ Section _____ Township _____ Range _____			
[Attach additional sheets if necessary.]			
Zoning: <input type="checkbox"/> Waterfront <input type="checkbox"/> Single Residential <input type="checkbox"/> Rural Residential <input checked="" type="checkbox"/> Significant Structures Area <input type="checkbox"/> Rural Mixed Use <input type="checkbox"/> Multiple Residential <input type="checkbox"/> Heavy Industrial <input type="checkbox"/> Waterfront Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial Light Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Mud Bay Zoning District <input type="checkbox"/> Lutak Zoning District <input type="checkbox"/> General Use			
III. Description of Work			
Type of Application (Check all that apply) <input type="checkbox"/> Residential <input type="checkbox"/> Commercial _____ sq. ft. _____ seating capacity if eating/drinking establishment <input type="checkbox"/> Industrial <input type="checkbox"/> Church <input type="checkbox"/> Other _____	Project Description (Check all that apply) <input type="checkbox"/> Single Family Dwelling <input type="checkbox"/> Change of Use <input type="checkbox"/> Multi-Family Dwelling Total # of Units _____ <input type="checkbox"/> Cabin <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Accessory Structure <input type="checkbox"/> Other _____	Water Supply Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Community well <input type="checkbox"/> Private well <input type="checkbox"/> Public Water <input type="checkbox"/> Other _____	Sewage Disposal Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Septic Tank <input type="checkbox"/> Holding Tank <input type="checkbox"/> Public Sewer <input type="checkbox"/> Pit Privy <input type="checkbox"/> Composting Toilet <input type="checkbox"/> Other _____
Estimate Cost of Work: \$400.00		Land Use Requested For: Wood Shed (Describe the project, and use additional sheets if necessary)	
Required Attachments: <input type="checkbox"/> Site plan (see Attachment A) <input type="checkbox"/> \$50 Non-Refundable Fee (Checks must be made payable to the Haines Borough)			
Per HBC 13.08.100 and 18.60.010, If a property on which a use is proposed is within 200 feet of an existing, adequate public water and/or sewer system, the developer shall be required to connect to the public systems. Failure to connect will result in a minor offense subject to penalties.			

IV. CERTIFICATION

I hereby certify that I am the owner or authorized representative of the property described above and that I petition for a land use permit in conformance with all of the provisions in the Haines Borough Code. I also certify that the site plan submitted is a complete and accurate plan showing any and all existing and proposed structures on the subject property. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the proposed use. I also understand that all contract work on this project will be done by a contractor holding valid licenses issued by the State of Alaska and the Haines Borough.

I am aware that if I begin work prior to receiving permit approval, I may be assessed a penalty fee, as per HBC 18.30.070. I am also aware that my property will be inspected throughout the duration of the permit to calculate percent complete and valuation of improvements.

Joanne N. Waterman
 Signature (Representatives must provide written proof of authorization)

MAY 2, 2024
 Date

PROVISIONS: The applicant is advised that issuance of this permit will not relieve responsibility of the owner or authorized representative to comply with the provisions of all laws and ordinances, including federal, state and local jurisdictions, which regulate construction and performance of construction, or with any private deed restrictions.

Office Use Only Below This Line

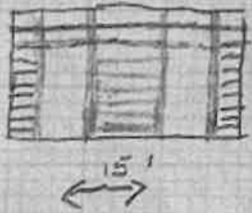
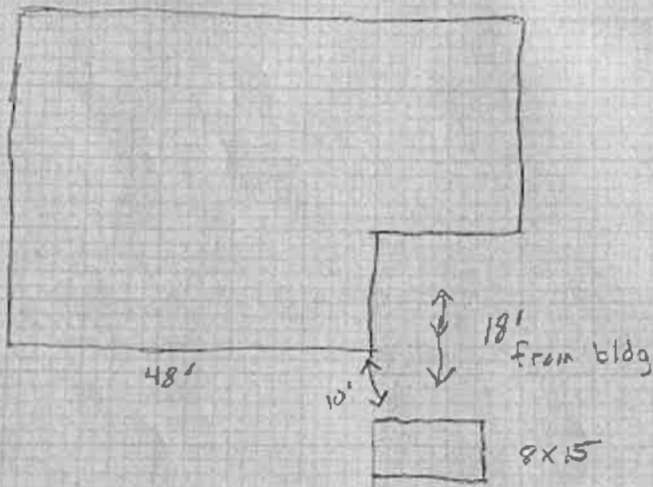
Non-Refundable Application Fee \$ <u>50-</u> Payment Method: <u>CASH</u> Receipt #: <u>029688</u> Received By: <u>AMF</u> Date: <u>5/2/24</u>	Application is Complete: Yes No Notified Via: _____ Notified By: _____ Date: _____ Borough Business License # (If applicable) _____
If application is approved : Approved By: _____ Borough Manager/Designee Permit ID #: _____ Permit Effective Date: _____	If application is denied : Denied By: _____ Borough Manager/Designee Reason: _____ Date: _____

Notice of Right to Appeal: All decisions of the Borough Officials are appealable per HBC 18.30.050

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

FORT SEWARD DR

Wood Shed
8x15
120 SF
1x6 Slat Siding
SAME color AS
HOUSE



Sent from my iPhone

2. The use of the dwelling unit or detached appurtenance for the home occupation is clearly incidental and subordinate to its use for residential purposes by its occupants, and not more than 30 percent of the combined floor area of the dwelling and appurtenance is used in the conduct of the home occupation;
3. There is no significant change in the outside appearance of the building or premises or other visible evidence of the conduct of such home occupation other than one sign, not exceeding four square feet in area, nonanimated and nonilluminated and mounted flat against the wall of the principal building;
4. No noise or odors not normally expected from a dwelling unit will be allowed as a result of the operation of the home occupation;
5. Traffic or a need for parking is not generated by such home occupation in significantly greater volumes than would normally be expected in a similar residential neighborhood;
6. Outdoor storage of materials or equipment will not be allowed unless adequately screened.

E. *Bed and Breakfast (B&B)*. A bed and breakfast may be allowed as an accessory to a residential use; provided, that the use of the dwelling unit for the B&B is clearly incidental and subordinate to the use of the dwelling as a residence by its owners or a manager living on-site. One sign, not exceeding four square feet in area, illuminated by indirect lighting and on the same lot as the B&B use is allowed.

F. *Kennel*. A kennel may be allowed if a site plan is approved and the kennel building, dog runs or other outside canine housing area is separated from any residential zoned lot line by a minimum of 50 feet.

G. *Historic Buildings*. All development occurring within the significant structures area, or changes to any of the surveyed historic buildings, shall comply with specific requirements. When the commission determines that the development is one of the surveyed historic structures or the development has a material effect upon the general character of the district and any of the individual structures therein, the following shall apply:

1. Every reasonable effort shall be made to provide a compatible use for property that requires minimal alterations of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The developer shall be encouraged to retain the distinguishing original qualities or character of a building, structure, or site and its environment. The removal or alteration of any historic material or distinctive architectural features should be avoided whenever possible.
3. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
4. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site, shall be treated with sensitivity.
5. Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new materials should match the material being replaced in composition,

design, color, texture and other visual qualities wherever possible. Repair or replacement of missing architectural features should be based on accurate duplications rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

6. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to any rehabilitation project.

7. Contemporary design and use of contemporary materials for alterations and additions to existing buildings and properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, and character of the property, neighborhood or environment.

8. Wherever possible, additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure should not be impaired.

9. The commission shall have the authority to place design standards and requirements upon the developer prior to the issuance of the permit in order to enforce the historic preservation and rehabilitation standards herein. A design review committee may be appointed by the planning commission which shall consist of the following representatives: the planning commission chair, a planning commission member appointed by the commission, one member of the borough assembly as appointed by the assembly, and one at-large member who is a property owner in the SSA, appointed by the commission chair, specific to each application. The commission shall refer to the document "[Fort William H. Seward, Haines, Alaska, Design Guidelines and Standards](#)" prepared by Ron Kasprisin of the Alaskan Northern Studies Program, Department of Urban Design and Planning, University of Washington, Seattle, 1998, when setting out the design standards to be followed for buildings in the significant structures area. (See also HBC [18.70.050](#).)

H. *Temporary Residence.* Persons desiring to place a temporary residence, or a trailer or mobile home or RV outside of a mobile home or RV park in the townsite service area for a temporary or interim occupancy over 30 days, shall apply for a temporary residence permit. The intent of a temporary residence permit is to allow a temporary structure for residential use. This means one trailer, RV or mobile home may be occupied during construction of a permanent structure. A temporary residence permit may be granted if all of the following requirements are met:

1. A valid permit for the permanent structure must be in effect during the entire time that the temporary dwelling is located on the site;
2. A trailer, RV or mobile home used as a temporary dwelling during the construction of a permanent structure must be located on the same lot or parcel;
3. The temporary dwelling must be transported to a sanitary dump station as needed to empty gray water and toilet waste tanks, be connected to public water and sewer if applicable, or be serviced by an approved DEC on-site wastewater system;
4. The temporary dwelling must meet the same setbacks applicable to permanent structures;

Please see the following links attached below under web links for the historic structures history:

Fort Seward Design Guidelines and Standards
<https://www.hainesalaska.gov/planningzoning/fort-seward-design-guidelines-standards>

Building History - Survey of Historic Structures

https://www.hainesalaska.gov/sites/default/files/fileattachments/comprehensive_plan_2025/page/1486/building_history_survey_of_historic_structures_city_of_haines.pdf