



Haines Borough Planning Commission Regular Meeting Agenda

COMMISSIONERS:

ROB GOLDBERG, CHAIR
LEE HEINMILLER, VICE-CHAIR
LARRY GEISE
HEATHER LENDE
DON TURNER III
BRENDA JOSEPHSON
ROB MILLER

Thursday, June 9, 2016 - 6:30 p.m.

Assembly Chambers, 213 Haines Hwy.

1. CALL TO ORDER / PLEDGE TO THE FLAG
2. ROLL CALL
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES: May 12, 2016
5. PUBLIC COMMENTS [Items not scheduled for public hearing]
6. CHAIRMAN'S REPORT
7. STAFF REPORT
- A. Planning & Zoning Report
8. PUBLIC HEARINGS:
 - A. **Mike Wilson – Heliport Conditional Use Proposal – Action Item** – Property owner Wilson has requested the Planning Commission approve a conditional use permit to allow the operation of a commercial heliport at 36 Mile Haines Highway. **Possible Motion:** Approve Wilson's heliport conditional use proposal.
9. UNFINISHED BUSINESS: None
10. NEW BUSINESS:
 - A. Historic District/Building Review: None
 - B. Haines Borough Code Amendments
 1. **Reviewing Process for Capital Improvement Projects in HBC 18.30.040 – Action Item** – The revised draft ordinance prepared by Chairman Goldberg is ready for review.
 2. **Refining Definitions of Mobile Home and Modular Home in HBC 18.20.020 – Discussion Item** – This item is up for discussion at the Haines Chamber of Commerce.
 3. **Classifying “Borough Parks” in HBC 18.70.040 – Discussion Item** – This item is scheduled as a follow-up item of 05/12 agenda.
 4. **Building Height Ordinance – Discussion Item** – This item is up for discussion at the request of Commissioner Josephson.
 - C. Project Updates: None
 - D. Other New Business
 1. **Parking Issues at Fort Seward – Discussion Item** – This item is up for discussion at the request of Commissioner Lende.
 2. **Request for A Platting Action to Resolve A Potential Conflict – Discussion Item** – Steve Cunningham, Renee Hoffman, Roger Schnabel and Commissioner Lende discussed the potential issues in the area of the proposed Chilkat Valley Preschool. Suggestions were made to mitigate the conflict and brought to the commission for consideration.
 3. **Consideration of Vacating One Portion of 5th Ave. Right-of-Way – Discussion Item** – This item is up for discussion at the request of Darsie Culbeck.
11. COMMISSION COMMENTS
12. CORRESPONDENCE
13. SCHEDULE MEETING DATE
 - A. Regular Meeting – Thursday, July 14, 2016 6:30 p.m.
14. ADJOURNMENT



**Haines Borough
Planning Commission Meeting
May 12, 2016
MINUTES**

Draft

1. **CALL TO ORDER/PLEDGE TO THE FLAG** – Chairman **Goldberg** called the meeting to order at 6:30 p.m. in Assembly Chambers and led the pledge to the flag.
2. **ROLL CALL** – **Present:** Chairman Rob **Goldberg**, and Commissioners Lee **Heinmiller**, Brenda **Josephson**, Larry **Geise**, Don **Turner III**, Heather **Lende** and Rob **Miller** (via telephone).

Staff Present: Kathryn **Friedle**, Administrative Assistant.

Also Present: Diana **Lapham**, Emily **Files**, Jan **Hill**/Mayor, Clay **Good**, Paul **Nelson**, Margaret **Friedenauer**, Burl **Sheldon**, and Brad **Ryan**/Interim Manager.

3. **APPROVAL OF AGENDA**

Motion: **Lende** moved to “approve the agenda.” **Josephson** seconded it. The motion carried unanimously.

4. **APPROVAL OF MINUTES** – April 14, 2016 Regular Meeting Minutes.

Motion: **Lende** moved to “approve the April 14, 2016 minutes,” and **Turner** seconded it. The motion carried unanimously.

5. **PUBLIC COMMENTS—None**

6. **CHAIRMAN’S REPORT**

Goldberg asked Commissioner **Lende** to report on the 4/21/16 meeting with Roger Schnabel, Steve Cunningham and Renee Hoffman regarding the proposed Chilkat Valley Preschool addition to the Senior Center and possible safety concerns with the existing Schnabel property and truck traffic on the neighboring lot on First Street.

7. **STAFF REPORTS**

- A. **Planning & Zoning Staff Report**

Commissioners questioned continued permitting of trailer at golf course due to change in definition of Temporary residences.

8. **PUBLIC HEARINGS**

- A. **Clay Good—Guest House Conditional Use Proposal**

Note: Property owner Clay Good applied for a conditional use permit to build a guest house on his property at 836 Mud Bay Road.

Goldberg opened the public hearing at 6:50 p.m.

Good had no further information to add to his request for a CUP to build a guest house.

Lende questioned possible gravesites on the hillside of **Good’s** property. **Good** reported he had not seen any gravesites, but appreciated being aware of them.

Goldberg closed the public hearing at 6:55 p.m.

Motion: Turner moved to “grant the conditional use permit for the construction of a guest house on Clay Good’s property,” and **Geise** seconded. The motion carried unanimously.

9. UNFINISHED BUSINESS - None

10. NEW BUSINESS

A. Historic District/Building Review—None

B. Haines Borough Code Amendments—None

1. Clarification of Calculating Building Height

The only change the Commissioners made to Ordinance No. 16-03-431 was in the definition of “Grade Plane”, as follows: "Grade Plane" means a reference plane representing the average of finished ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established as the average of the finished ground level measured at the lot line or, where the lot line is more than 6 feet from the building, measured at a point 6 feet from the building. Window wells, stair wells and garage ramps intended solely to provide below-ground access to the structure need not be included in the average when calculating grade plane. Prior to issuance of a land use permit, calculations shall disregard any fill or construction which have no significant purpose other than elevating the grade plane. In reaching such finding, only those architectural, structural, safety, aesthetic, access or other purposes claimed by the developer and supported by reasonable evidence shall be considered.

Motion: Turner moved to “amend the proposed ordinance by interjecting **Josephson’s** suggested verbiage and submitting it to the Assembly,” and **Josephson** seconded. The motion carried unanimously.

2. Reviewing Process for Capital Improvement Projects

After discussion on how to categorize projects based on dollar amounts of the proposed projects, **Goldberg** tabled the discussion until the June 9th PC meeting at which time he will provide more concise language.

C. Project Updates

D. Other New Business

1. Modular Units in Spruce Grove Park

After discussion, Commissioners determined that modular units are not allowed in a light industrial zoned area. Therefore, no motion was needed and **Goldberg** will inform Leonard **Dubber** of the decision.

2. Rezoning for Parks

Sheldon requested the PC to consider designating the corner of Third Avenue and Main Street as a Haines Borough park. **Josephson** emphasized the need for continued and limited commercial property on Main Street. No motion was needed, with the decision to make no changes for now, as corner “park” will probably remain undeveloped in the near future. **Goldberg** will

research Haines Borough code for “parks” definition and other “park” areas within the borough.

11. **COMMISSION COMMENTS**

Lende stated concern for parking at the former Salmon Bake buildings on the Fort Seward Parade Grounds, questioning if parking is taxed commercially or if it is public parking due to new ownership. **Heinmiller** confirmed that the leased part, which is only a small area, is taxed commercially.

12. **CORRESPONDENCE** - None

13. **SET MEETING DATES**

A. Regular Meeting — **Thursday, June 9, 2016 6:30 p.m.**

14. **ADJOURNMENT**– 8:55 p.m.

Staff Report for June 9, 2016

1. Permits Issued Since May, 2016

PERMIT	DATE	OWNER/AGENT	TAX ID	LOT	BLK	SUBDIVISION	DEVELOPMENT	ZONE
16-21	5/2/16	Paul Boulter	C-ANY-01-1600	16&17	1	Anway Sub.	ROW_repair driveway	RR
16-22	5/5/16	Eric Sundberg	C-STR-03-3300	33		974 Mud Bay Rd.	Shop	SR
16-23	5/5/16	William Prisciandaro	C-STR-02-15NE	E1/2 N1/2 15		Haines Townsite	Site Prep	RMU
16-24	5/10/16	SE AK State Fair	Tax Exempt	296 Fair Drive		SE AK State Fair	Off-Premise Sign	ILC
15-37A	5/12/16	Gregory Seymour	C-SEC-35-1620	16B		Mt. Riley Rd.	SFR	SR
16-25	5/12/16	Clay Good	C-STR-03-25C0	Part Lot 25		836 Mud Bay Rd.	Guest House CUP	SR
16-26	5/17/16	Brian Staurseth	C-MIS-OA-051A	Part Lot 5, Tract A		Mission Sub.	Off-Premise Sign	C
16-27	5/17/16	Tim Hlavnicka	C-SEC-35-11E4	4		Skagway View Sub.	Site Prep	RR
16-28	5/20/16	Michael Ward	C-TNS-02-0700 & C-TNS-02-0800	7&8	2	Haines Townsite	ROW_parking lot improvement	C
16-29	5/24/16	Ted Sanders				Beach Rd.	Jehovah's Witnesses/Sign	W
16-30	5/25/16	Christopher Thorgesen	C-TNS-02-0400	4	2	Haines Townsite	Sign	C
16-31	5/25/16	Kevin Woods	Salvation Army	5	16	Haines Townsite	Sign	MR
16-32	5/27/16	Kelly Jessup/Shawn O'Brien	C-PTC-0K-02A0	2A	K	Port Chilkoot Sub.	Commercial	SSA
16-33	5/27/16	Jordan May	C-SEC-35-1520	15		Mt. Riley Rd.	Site Prep	RMU

2. Enforcement/Complaints

- On 5/23/2016, one property owner filed a citizen complaint regarding the drainage issue on Portage Street that she would like the Borough to address. Site inspection was conducted on 5/24/2016. Staff recommended the owner install a French drain.
- On 5/14/2016, the Borough received citizen concerns regarding the recent development in the Letnikof Estates Subdivision. Site visit was conducted on 5/16/2016. The owner was notified via mail on 5/26/2016.



HAINES BOROUGH, ALASKA

P.O. BOX 1209

HAINES, AK 99827

(907) 766-2231 * FAX (907) 766-2716

02 June 2016

Under HBC 18.50.040, there are eight criteria to be considered in deciding whether to grant a conditional use permit. Before a conditional use permit is approved, the commission must find that each of the following is met. I have provided my thoughts on each one.

1. The use is so located on the site as to avoid undue noise and other nuisances and dangers;

The property is one 10.4 acre lot. There are three vacant lots directly adjacent to Wilson's property. The property to the east is state land, the property to the west is a native allotment, and the property to the north is Mr. Wilson's. On May 26th 2016 surrounding property owners within 200 ft. were notified. Staff had not received any comments from these property owners as of June 2nd 2016. The proposed helipad is situated on an upper terrace in the middle of the lot as far away from property lines as possible. The nearest residence is located approximately 0.75 miles away.

2. The development of the use is such that the value of the adjoining property will not be significantly impaired;

Historical studies as well as real estate appraisal guidelines indicate that property values are not affected due to the proximity of a heliport. The value is based on sales in the area.

3. The size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use;

The property is already being used as a heliport to support heli-skiing and has the infrastructure necessary to support this activity. In addition, there is a residence on the property with a well, septic system, restrooms, and kitchen facilities. The applicant plans to build a lodge on an existing 40' x 60' foundation if this heliport is issued. Per an email correspondence between David Sosa and Mike Wilson dated October 7th 2015 "...we would investigate the existing well, septic and foundation are adequate before we start building".

4. The specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses;

The Haines Borough Comprehensive Plan currently classifies the proposed property as Rural Settlement. The section of Haines Borough 20125 Comprehensive Plan pertaining to the Rural Settlement land use classification states... "The Rural Settlement Land Designation is large-lot residential living outside of downtown where the lack of public water and sewer requires large lots so that wastewater discharge does not harm neighboring properties or the environment. This development is on a large lot and should work in harmony with the surrounding land uses.

5. The granting of the conditional use will not be harmful to the public safety, health or welfare;

The landings and takeoffs of helicopters will generate noise and some degree of vibration. However, there are no residential properties in the near vicinity and it due to the remoteness of the location may actually increase safety by moving operations away from the Haines Highway.

6. The use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams;

According to the 2016 GIS data provided by the Alaska Department of Fish and Game, Mr. Wilson's property is not within or nearby any state-identified anadromous streams. Mr. Wilson stated "To safeguard surface water we will have containment for all fueling systems and will provide restrooms and trash collection services to handle all human waste"

7. The use will comply with all required conditions and specifications if located where proposed and developed, and operated according to the plan as submitted and approved;

Property owner Wilson intends to use the heliport for commercial purposes and the proposed helipad complies with the setback requirements, per HBC 18.80.030(B). Conditional use permits may be granted with restrictions on operating periods, operating hours, etc. The applicant must agree and adhere to the conditions of this permit prior to its approval. In addition, property owner Wilson indicated that the FAA has reviewed the site and has granted a private heliport designation (AA35).

8. Comments received from property owners impacted by the proposed development have been considered and given their due weight.

The Haines Borough did reach out to adjacent land owners but as of June 2nd 2016 we had not received any feedback.

Sincerely,



Brad A. Ryan
Haines Borough Interim Manager



Haines Borough

Planning and Zoning

103 Third Ave. S., Haines, Alaska, 99827

Telephone: (907) 766-2231 * Fax: (907) 766-2716

APPLICATION FOR CONDITIONAL USE PERMIT

Permit#: _____

Date: _____

Use this form for use approval by the Planning Commission for conditional uses.

I. Property Owner/Agent		Owner's Contractor(If Any)	
Name: Michael Wilson		Name:	
Mailing Address: 8484 Duran Court, Juneau AK 99801		Haines Borough Business License #:	
Contact Phone: Day Night 907-209-0845		Alaska Business License #:	
Fax:		Contractor's License #:	
E-mail: haines35lodge@gmail.com		Mailing Address:	
		Contact Phone: Day Night	
		Fax:	
		E-mail:	
II. Property Information			
Size of Property: 10.4 Acres			
Property Tax #: 3-HHY-36-3426			
Street Address: 35 Mile Old Haines Highway			
Legal Description: Lot (s)_____ Block_____ Subdivision_____			
OR			
Parcel/Tract_____ Section_____ Township_____ Range_____			
[Attach additional page if necessary.]			
Zoning: <input type="checkbox"/> Waterfront <input type="checkbox"/> Single Residential <input type="checkbox"/> Rural Residential <input type="checkbox"/> Significant Structures Area			
<input type="checkbox"/> Rural Mixed Use <input type="checkbox"/> Multiple Residential <input type="checkbox"/> Heavy Industrial <input type="checkbox"/> Waterfront Industrial			
<input type="checkbox"/> Commercial <input type="checkbox"/> Industrial Light Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Mud Bay Zoning District			
<input type="checkbox"/> Lutak Zoning District <input checked="" type="checkbox"/> General Use			
III. Description of Work			
Type of Application (Check all that apply) <input type="checkbox"/> Residential <input type="checkbox"/> Commercial _____sq. ft. _____seating capacity if eating/drinking establishment <input type="checkbox"/> Industrial <input type="checkbox"/> Church <input checked="" type="checkbox"/> Other <u>Heliport</u>	Project Description (Check all that apply) <input type="checkbox"/> Single Family Dwelling <input type="checkbox"/> Change of Use <input type="checkbox"/> Multi-Family Dwelling Total # of Units _____ <input type="checkbox"/> Cabin <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input checked="" type="checkbox"/> Other <u>Heliport</u>	Water Supply Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Community well <input type="checkbox"/> Private well <input type="checkbox"/> Borough Water System <input checked="" type="checkbox"/> Other <u>not applicable</u>	Sewage Disposal Existing or Proposed <input type="checkbox"/> None <input type="checkbox"/> Septic Tank <input type="checkbox"/> Holding Tank <input type="checkbox"/> Borough Sewer System <input type="checkbox"/> Pit Privy <input checked="" type="checkbox"/> Other <u>not applicable</u>

Valuation of Work:
Current use of adjacent properties: There are no structure or use of adjacent properties
Attach the following documents to the permit application: <input checked="" type="checkbox"/> Site plan (see Attachment A) showing lot lines, bearings and distances, buildings, setbacks, streets, etc.

PREAPPLICATION (Required)

Pre-application Conference Date: MARCH 2016

Prior to submission of an application, the developer shall meet with the manager for the purpose of discussing the site, the proposed development and the conditional use permit procedure. The manager shall discuss these matters with the developer with special attention to policies and approval criteria that may pose problems or constraints on the site or the proposed development activity and policies or approval criteria that may create opportunities for the developer.

APPLICATION

Please provide a written narrative explaining how your project will meet the following requirements. You may use the space provided on this form or attach your answers. A variance may only be granted if the Planning Commission finds that these six standards are met.

- The use is so located on the site as to avoid undue noise and other nuisances and dangers.

Describe what safeguards are being provided (i.e. setbacks or buffers) to meet the condition.

The proposed landing area is in the upper terraced area of a cleared 10 Acre lot. The FAA has landed, inspected and approved the landing area for operations greater than what they define as temporary use . The State of Alaska has "abandoned" this section of the old highway, there is no public use of this area and all private land is undeveloped. The development of the helipad and associated systems are in compliance with FAA AC 150/5390-2C
- Explain how the development of the use is such that the value of the adjoining property will not be significantly impaired.

There are no residences within 1 mile of the proposed area.
- Explain how the size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use.

There are no public facilities used for this activity.

4. Describe how or why the specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses.

This area is in the General Use Zone.

5. Explain how the granting of the conditional use will not be harmful to the public safety, health or welfare.

Because of the location away from the new highway and the distance from public use areas is so great. Any activity in this area is well removed from incidental public contact.

6. Describe the safeguards that will be provided so that the use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams.

Any fuel storage will be contained per the requirements of EPA, ADEC and OSHA

IV. FEE

A non-refundable fee of \$150 must accompany this application. Checks must be made payable to the HAINES BOROUGH.

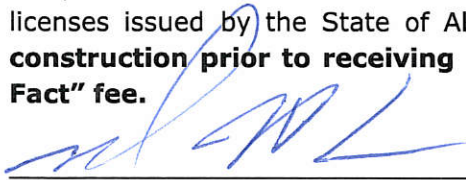
NOTICE

Per HBC 18.50.040, Comments received from property owners impacted by the proposed development will be considered and given their due weight. Additionally, the Planning Commission may impose one or more of the following conditions:

1. Development Schedule. The conditions may place a reasonable time limit on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighbors, to ensure that lots are not sold prior to substantial completion of required public improvements, or to implement other requirements.
2. Use. The conditions may restrict the use of the development to specific uses indicated in the approval.
3. Owner's Association. The conditions may require that if a developer, homeowner or merchant association is necessary or desirable to hold or maintain common property, that it be created prior to occupancy.
4. Dedications. The conditions may require conveyances of title, licenses, easements or other property interests to the public, to public utilities, or to the homeowners association. The conditions may require construction of public utilities or improvements to public standards and then dedication of public facilities to serve the development and the public.
5. Construction Guarantees. The conditions may require the posting of a bond or other surety or collateral (which may provide for partial releases) to ensure satisfactory completion of all improvements required by the commission.
6. Commitment Letter. The conditions may require a letter from a utility company or public agency legally committing it to serve the development if such service is required by the commission.
7. Covenants. The conditions may require the recording of covenants or other instruments satisfactory to the borough as necessary to ensure permit compliance by future owners or occupants.
8. Design. The conditions may require the adoption of design standards specific to the use and site.

V. CERTIFICATION

I hereby certify that I am the owner or duly authorized owner's agent, that I have read this application and that all information is correct. I further certify that I have read, understand and will comply with all of the provisions and permit requirements outlined hereon. I also certify that the site plan submitted is a complete and accurate plan showing any and all existing and proposed structures on the subject property and that the use will comply with all required conditions and specifications, will be located where proposed and when developed, will be operated according to the plan as submitted. All contract work on this project will be done by a contractor holding valid licenses issued by the State of Alaska and the Haines Borough. **I am aware that if I begin construction prior to receiving permit approval, I will be assessed a \$250.00 "After-the-Fact" fee.**



 Owner or Agent

5-20-2016

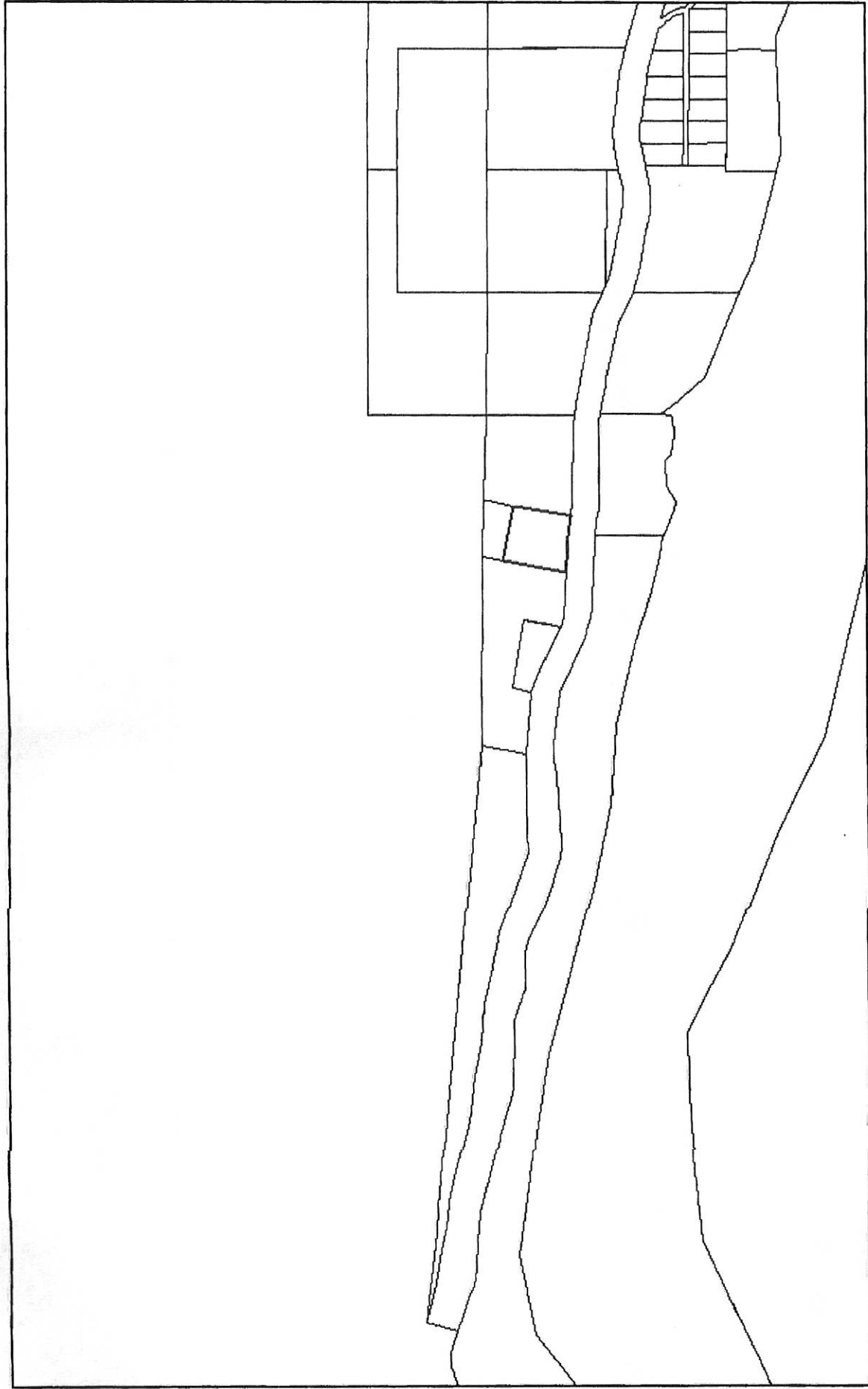
 Date

PROVISIONS: The applicant is advised that issuance of this permit will not relieve responsibility of the owner or owner's agents to comply with the provisions of all laws and ordinances, including federal, state and local jurisdictions, which regulate construction and performance of construction, or with any private deed restrictions.

Office Use Only Below This Line

<input checked="" type="checkbox"/> Applicant Notified Application is Complete and Accepted <u>05/24/2016</u> <u>In Email</u> <u>SEC</u> <small>(Date) (Notified via) (Initials)</small>					
Non-Refundable Permit Fee \$ <u>150.00</u> Receipt No. <u>CK# 1010 024829</u> Received By: <u>T. Tolson</u> Date: <u>5.24.16</u>			Information/Documentation Req'd Rec'd <input type="checkbox"/> <input type="checkbox"/> State Fire Marshal <input type="checkbox"/> <input type="checkbox"/> State DEC <input type="checkbox"/> <input type="checkbox"/> Variance/Conditional Use Permit <input type="checkbox"/> <input type="checkbox"/> Sign Permit		
Zoning	Bldg. Height	Lot Coverage %	Const. Type	Occupancy	# Stories
This application meets all applicable Borough policies and a permit is issued, conditional on the substantial completion of construction within two years and the following special requirements:					
Planning Commission Chair:			Date:		

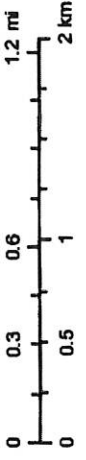
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



August 19, 2015

hainesborough_parcelso7312015

1:36,112





Haines Borough Parcel Viewer



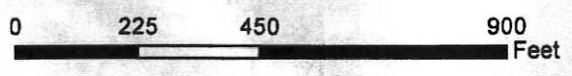
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hainesborough_parcels07312015: 3-HHY-36-3426

HOWNTYPE	PRI
OWNTYPE	PRIVATE
TAXIDNO	3-HHY-36-3426
PRIMARYOWNER	VICKI L. GAROADNER
SECONDARYOWNER	MIKE H. WILSON
ADDRESS	HC 60, BOX 2613
CITY	HAINES
STATE	AK
ZIPCODE	99827
COUNTRY	US
LEGALDESC1	USS 3426
LEGALDESC2	HAINES HWY, 36 MILE
LEGALDESC3	10.4 ACRES
Zone	GU
LAND	98,000
EXEMPTLAND	0
TAXABLELAND	98000
IMPROVEMENT	75400
EXEMPTIMPROV	0
TAXABLEIMPROV	75400
ASSESSEDVALUE	173400
TAXABLEVALUE	173400
MILLRATE	8.15
TOTALTAX	1,413.21

[Zoom to](#)

Haines



temp 11
0956

DLG 5 2008

Form approved OMB No. 2120-0036
02/28/2007

NOTICE OF LANDING AREA PROPOSAL											
U.S. Department of Transportation Federal Aviation Administration											
Name of Proponent, Individual, or Organization Michael Wilson & Vicki Gardner					Address of Proponent, Individual, or Organization (No., Street, City, State, Zip Code) 35 Mile Old Haines Highway Haines AK 99827						
<input type="checkbox"/> Check if the property owner's name and address are different than above, and list property owner's name and address on the reverse.											
<input checked="" type="checkbox"/> Establishment or Activation		<input type="checkbox"/> Deactivation or abandonment		} <input type="checkbox"/> Airport		<input type="checkbox"/> Ultraflight Flightpark		<input type="checkbox"/> Vertiport			
<input type="checkbox"/> Alteration		<input type="checkbox"/> Change of Status		OF <input checked="" type="checkbox"/> Heliport		<input type="checkbox"/> Seaplane Base		<input type="checkbox"/> Other (Specify)			
A. Location of Landing Area											
1. Associated City/State Haines Alaska			2. County/State (Physical Location of Airport) Haines Alaska				3. Distance and Direction From Associated City or Town				
4. Name of Landing Area Condor			5. Latitude 59 °26' 15.2"		6. Longitude 136 °13' 45.7"		7. Elevation 690		35 Miles	Direction WNW	
B. Purpose											
Type Use <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Private Use of Public Land/Waters		If Change of Status or Alteration, Describe Change				<input type="checkbox"/> Establishment or change to traffic pattern (Describe on reverse)		Construction Dates			
								To Begin/Began	Est. Completion		
C. Other Landing Areas											
		Ref. A5 above		D. Landing Area Data			Existing (if any)			Proposed	
		Direction From Landing Area	Distance From Landing Area	1. Airport, Seaplane Base, or Flightpark			Rwy #1	Rwy #2	Rwy #3	Rwy	Rwy
				Magnetic Bearing of Runway (s) or Sealane							
				Length of Runway (s) or Sealane (s) in Feet							
				Width of Runway (s) or Sealane (s) in Feet							
				Type of Runway Surface (Concrete, Asphalt, Turf, Etc.)							
				2. Heliport							
				Dimensions of Final Approach and Take off Area (FATO) in Feet						150 X 150 ft	
				Dimensions of Touchdown and Lift-Off Area (TLOF) in Feet						100 X 100 ft	
				Magnetic Direction of Ingress/Egress						North/South	
				Routes							
				Type of Surface (Turf, concrete, rooftop, etc.)						Turf	
				3. All Landing Areas			Description of Lighting (if any)			Direction of Prevailing Wind	
F. Operational Data											
1. Estimated or Actual Number Based Aircraft											
Airport, Flightpark, Seaplane base		Present (If est. indicate by letter "E")		Anticipated 5 Years Hence		Heliport		Present (If est. indicate by letter "E")		Anticipated 5 Years Hence	
Multi-engine		25000				Under 3500 lbs. MGW					
Single-engine						Over 3500 lbs. MGW		1	2		
Glider											
G. Other Considerations											
Identification		Direction From Landing Area	Distance From Landing Area	2. Average Number Monthly Landings			Present (If est. indicate by letter "E")		Anticipated 5 Years Hence		
				Jet		Helicopter		E 40	E 65		
				Turboprop		Ultraflight					
				Prop		Glider					
3. Are IFR Procedures For The Airport Anticipated											
<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Within _____ Years Type Navaid:											
H. Application for Airport Licensing											
<input type="checkbox"/> Has Been Made		<input checked="" type="checkbox"/> Not Required		<input type="checkbox"/> County							
<input type="checkbox"/> Will Be Made		<input checked="" type="checkbox"/> State		<input type="checkbox"/> Municipal Authority							
I. CERTIFICATION: I hereby certify that all of the above statements made by me are true and complete to the best of my knowledge.											
Name, title (and address if different than above) of person filing this notice -- type or print Michael H Wilson Owner				Signature (in ink)			Date of Signature			Telephone No. (Precede with area code) 907-209-0845	
							12/3/08				





U.S. Department of Transportation

Federal Aviation Administration

December 09, 2013

Michael H. Wilson & Vicki Gardner
35 Mile Old Haines Highway
Haines, AK 99827

Matt Freeman AAL-613
222 West 7th Ave. Box 14
Anchorage, AK 99513-7587

RE: (See attached Table 1 for referenced case(s))
DETERMINATION OF LANDING AREA PROPOSAL

Table 1 - Letter Referenced Case(s)

ASN	Prior ASN	Location	Latitude (NAD83)	Longitude (NAD83)	AGL (Feet)	AMSL (Feet)
2012-AAL-17-NRA	2008-AAL-174-NRA	Haines, AK	59-26-15.20N	136-13-45.70W	0	690

Description: Establish new private heliport. *Resubmittal to register & publish heliport - Verify name of heliport; revised form states: 35 Mile Lodge (see previous determination letter in file).

We have determined that the proposed private use landing area, will not adversely affect the safe and efficient use of the navigable airspace by aircraft, provided:

- All operations are conducted in VFR weather conditions.
- The landing area is limited to private use.
- All approach and departure route helicopter operations are conducted in an area from 140 degrees clockwise to 180 degrees and from clockwise to degrees using the touchdown pad as the center of a compass rose.
- The takeoff/landing area is appropriately marked.
- A non-obstructing wind indicator is maintained adjacent to the takeoff/landing area.
- There are several penetrations to approach, departure, and transition areas identified in the attached report. Those obstacles are to be removed or sufficiently reduced in height to ensure they are not obstacles to helicopter operations.

We recommend that:

- The proponent refer to AC 150/5390-2, "Heliport Design", in establishing an acceptable level of safety for helicopter operations at this heliport.
- A clear 8:1 approach slope be established.

Please notify the FAA within 15 days of completing the landing area by calling the FAA Area Flight Service Station (AFSS) serving your landing area to let them know you are activating the landing area while the Airport

Master Record form is being processed. Please tell the Flight Service Station representative that you have received an aeronautical determination from the FAA, and supply them with the name of your landing area and the coordinates.

Please return the enclosed Airport Master Record form to this office. When the processing of the Airport Master Record form is completed, your landing area will have a site number and a permanent location identifier. Indicate whether or not you would like to have your landing area shown on aeronautical charts. Charting also depends on the amount of "clutter" already on the charts near your site.

In order to avoid placing any unfair restrictions on users of the navigable airspace, this determination is valid until December 9, 2015. Should the facility not be operational by this date, an extension of the determination must be obtained by 15 days prior to the expiration date of this letter.

This determination does not constitute FAA approval or disapproval of the physical development involved in the proposal. It is a determination with respect to the safe and efficient use of navigable airspace by aircraft and with respect to the safety of persons and property on the ground.

In making this determination, the FAA has considered matters such as the effects the proposal would have on existing or planned traffic patterns of neighboring airports, the effects it would have on the existing airspace structures and projected programs of the FAA, the effects it would have on the safety of persons and property on the ground, and the effects that existing or proposed manmade objects (on file with the FAA), and known natural objects within the affected area would have on the airport proposal.

The FAA cannot prevent the construction of structures near an airport. The airport environs can only be protected through such means as local zoning ordinances, acquisitions of property in fee title or aviation easements, letters of agreement, or other means.

This determination does not preempt or waive any ordinance, law, or regulation of any other governmental body or agency.

Enclosures:

- Advisory Circular 150/5390-2, Heliport Design, copy enclosed

If you have any questions concerning this determination contact Mike Edelman, (907) 271-5026 and/or Mike.Edelman@faa.gov.

A handwritten signature in black ink, appearing to read 'Mike Edelman', with a long horizontal flourish extending to the right.

Mike Edelman
DivUser

Mr. Wilson:

Please see attached favorable determination letter for your landing area proposal. Your landing area is now official.

I have submitted all the required paperwork to have your landing area registered and assigned a location identifier.

Per the attached determination, I have also include a copy of the Heliport Design Advisory Circular on CD, and a copy of the Flight Standards inspection report.

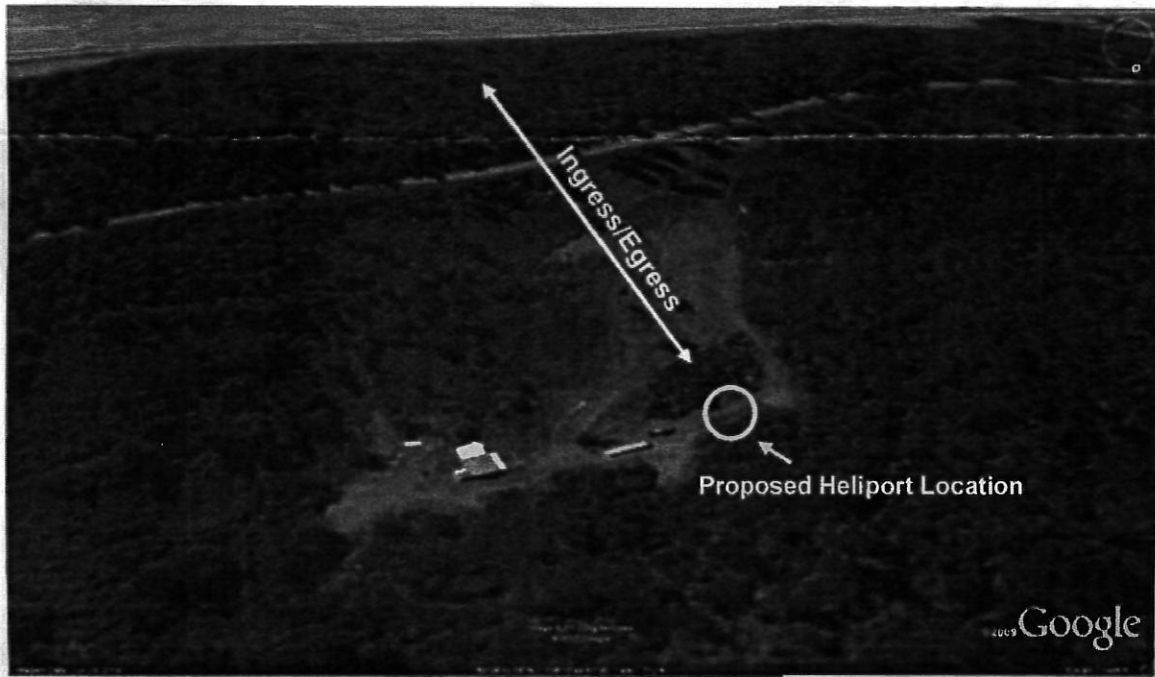
Please note the attached determination letter contains some boilerplate text that it is safe for you to ignore. You have already submitted the Airport Master Record, FAA Form 5010. Additionally, it is not required for you to inform the Flight Service Station that you are activating your landing area while the paperwork is being processed.

Feel free to contact me at the number below if you have any questions or comments.

Thank you;
Mike Edelmann
907-271-5026
Mike.edelmann@faa.gov

NRA Tracking Number: 2012-AAL-17NRA
PPR Heliport Evaluation Date: 05/24/2012

GPS Location: 59° 26' 15.2" N, 136° 13' 46.9" W
35 Mile Old Haines Highway, Haines, Alaska 99827
Proponent: 35 Mile Lodge, Michael Wilson, Phone (907) 209-0845



Photos taken looking Northeast to East



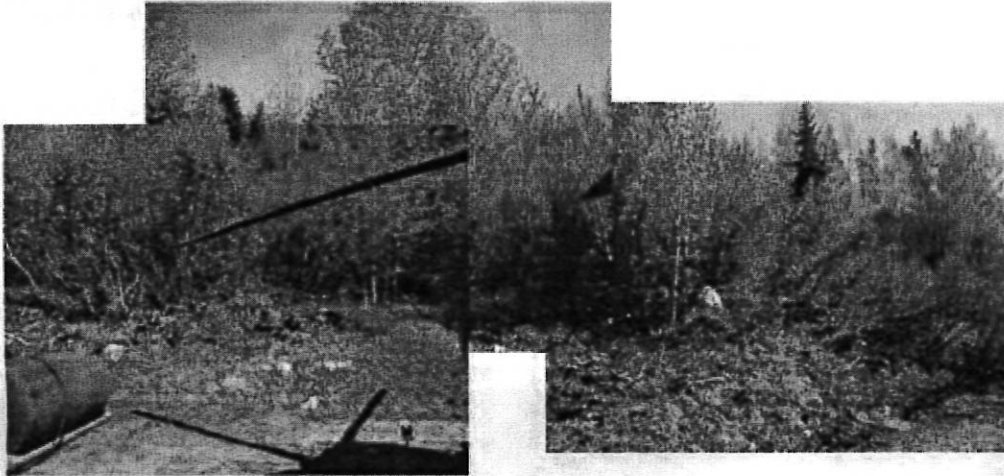
Photos taken looking East to South



Photos taken looking Southwest to West/Northwest



Photos taken looking Northwest to North



General Inspection:

On site inspection of proposed heliport was conducted on May 24, 2012 during clear weather.

Proposed heliport site is a remote location with road access approximately 24 miles west/northwest of the Haines Airport. The proposed heliport site is an elevated gravel/sod area at approximately 712 feet MSL which is located on a road. There is rising terrain (mountain) and trees located to the north of the site. There is lowering terrain to the south and southeast (along the river). A residential building is located approximately 150 feet to the east of the proposed heliport. (The proponent stated he may remove this building in the future.)

No wires of concern are visible from the site. No wind direction indicators were seen other than natural occurring wind indicators. Rescue and fire fighting access would be via road from Haines.

The significant obstacles for the proposed heliport are trees and rising terrain (mountain) to the north and the trees to the south.

Recommended departure path would be to the south through southeast (140° to 180° Departure Heading). Approach would be along the same path (320° to 360° Approach Heading).

The following obstacles (trees) were measured:

Heading	Distance (ft)	Inclination	Penetration (A/D or Trans Area) (For 140°-180° Heading)
112°	603	10.2°	None
115°	312	10.0°	None
122°	643	8.0°	None
138°	483	6.2°	None
147°	581	5.1°	None
165°	147	8.1°	A/D and Trans Area*
192°	222	13.1°	Trans Area*
212°	143	21.9°	Trans Area*

*Discussion with the proponent regarding the obstacles which penetrated the approach and departure paths, he stated that those trees will be cut down which would allow the approach and departure paths (140° to 180° Departure Heading) to have no obstacle penetration.

An old, snow damaged trailer/vehicle was located on the proposed site which the proponent stated would be removed. There was also a temporary fuel tank (and van) located near the site which the proponent also stated would be relocated to a permanent location in the future. Trees were recently cut south of the site and a few trees were trimmed to the north of the site.


The TLOF size is within AC 150/5390-2B recommendations for PPR but additional clearing of trees or slightly moving the heliport location would allow for the FATO and Safety Areas to be within the AC recommendations. Proponent stated they have not completed clearing the area. If additional clearing and grading is completed, the site should be within the size recommendations of AC 150/5390-2B for the TLOF, FATO, and Safety Areas.

There are no schools, churches, residential communities, or wildlife areas within 1 NM of this proposed site.

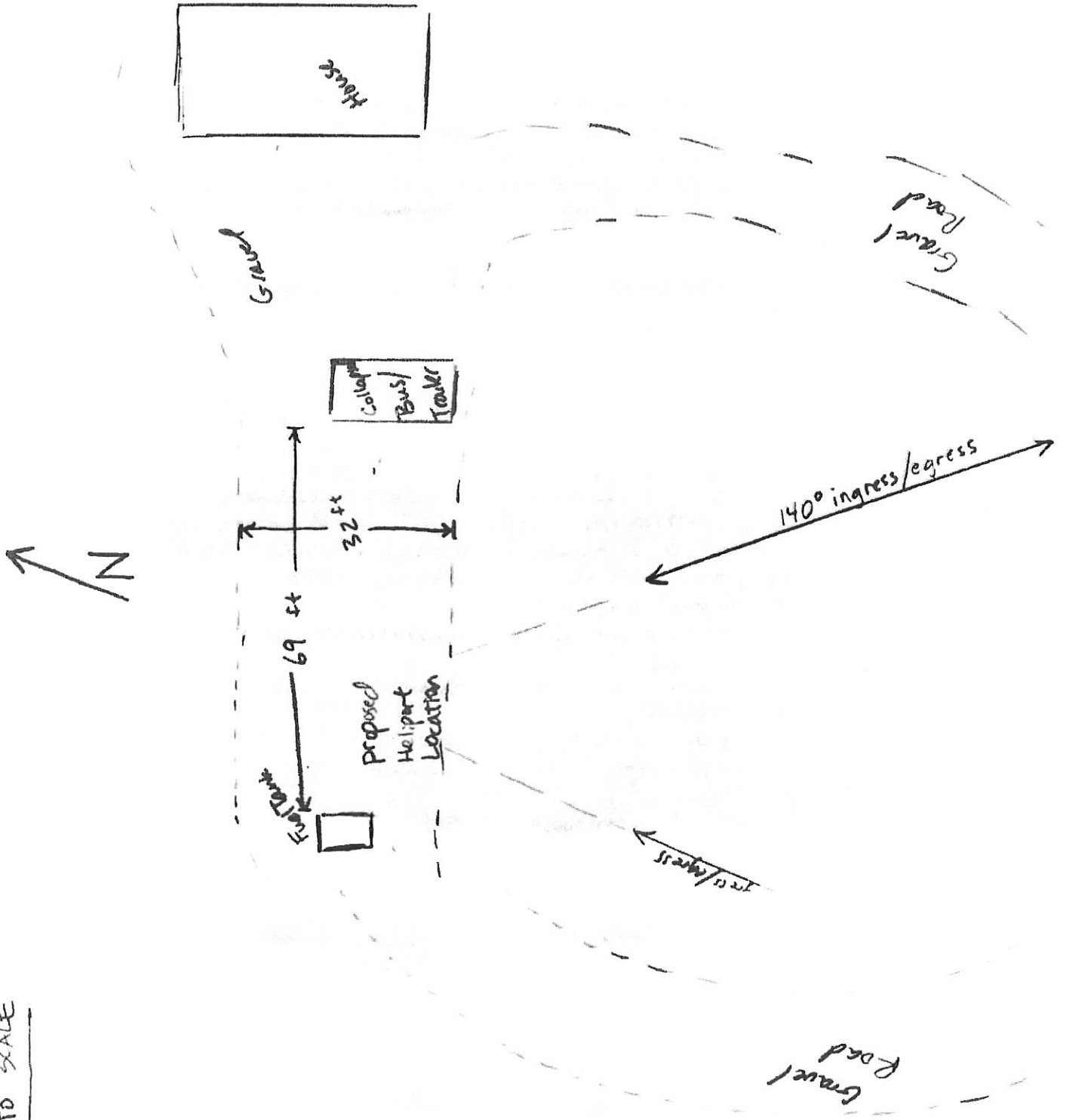
Conclusion:

We have no objections to the proposed heliport provided:

- Trees/obstacles with penetration are trimmed or removed.
 - All helicopter approach and departure route operations are conducted in an area from approximately 140 degrees clockwise to 180 degrees.
 - Proposed site (TLOF, FATO, and Safety Area) is cleared, graded, and/or prepared to the recommended dimensions according to AC 150/5390-2.
 - All operations are conducted in Day/VFR weather conditions.
 - The landing area is limited to PPR use.
 - The take off/landing area is appropriately marked (TLOF, FATO, Standard H...)
 - A non-obstructing wind indicator is maintained adjacent to the take off/landing area.
 - The landing area is constructed in accordance with AC 150/5390-2.
 - The heliport proponent will reexamine obstacles in accordance with AC 150/5390-2.
-
- Unauthorized persons are restrained from access to the take off/landing area.

 5/25/12
Reynaldo Madrid
Aviation Safety Inspector – Rotorcraft
Juneau FSDO AL-05

NOT TO SCALE



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Figure 8-2, Heliport Evaluations Checklist Job Aid

Use this checklist to complete and confirm correct data on the FAA Form 7480-1.

NRA Tracking Number: 2012-AAL-17NRA

1. Heliport Design:

- A. Permanent Temporary
B. Ground Level Heliport Water Heliport Ship/Barge Heliport Elevated
C. Design Helicopter to Use the Heliport: AS-350

2. Proponent Contact Information:

- A. Name: Michael Wilson
B. Address: Juneau, Alaska
C. Telephone Number: 907-209-0845
D. E-mail Address:

3. Location of Heliport:

Street Address City State:

35 Mile Old Haines highway, Haines, Alaska 99827

Latitude: 59 26 15.2 N Longitude: 136 13 46.9 W Elevation: 712'

Use GPS to confirm the latitude/longitude/elevation. Conduct by making an onsite analysis.

4. Type of Use:

- A. Public Use Private (PPR) Private Use of Public Land/Waters
B. General Aviation Heliport Transport Heliport
C. Visual Flight Rules (VFR) Use
D. Instrument Flight Rules (IFR) Use (Identify Approach)

5. Communication Plan: Yes No

6. Dimensions of Touchdown and Liftoff Area (TLOF) for Proposed Helicopter Operations:

PPR TLOF = 2 x 7.5 (max undercarriage) = 15 feet

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7. Dimensions of Final Approach and Takeoff Area (FATO) for Proposed Helicopter Operations:

17 feet from TLOF (64 feet total)

8. Dimensions of Safety Area for Proposed Helicopter Operations:

10 feet from FATO (74 feet total) (if TLOF, FATO, and Std H Markings)

9. Suitability of Approach/Takeoff Paths: Yes No

Confirm the 8:1 slope (7.125 degrees) is satisfactory from the forward edge of the FATO to 4,000 feet. For 8:1 slopes that require termination at a hover height other than landing on the helipad, mitigate the reason for the termination.

10. Type of Surface: Concrete Asphalt Metal Water Wood

Other: Currently Gravel (proposed wood)

11. Weight Limitation 5000

12. Approved Heliport Markings: Yes No Proposed/planned

13. Description of Lighting (Diagram):

A. Advisory Circular (AC) Recommended Lighting: Yes No

B. Are Night Vision Goggle (NVG) Operations Planned? Yes No Unknown

C. Does the Heliport have a Heliport Beacon? Yes No Not Required

14. Does the Heliport have Fire Protection? Yes No Not Required

A. Describe the Kind of Protection

B. National Fire Protection Association (NFPA) 418 Approved: Yes No

15. Wind Direction Indicator.

A. Does the Heliport Have a Wind Direction Indicator? Yes No

B. Describe the Kind of Indicator: Windsock Planned

16. Other Landing Areas in the Vicinity (if within 5 nautical space (NM) of site):

A. Name/Location Identifier/Type of Facility (i.e., Airport, Seaplane, Heliport):

N/A

B. Direction from Heliport Site:

C. Distance from Heliport Site:

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Use a continuation sheet if there are others.

17. Observed Obstructions in the Vicinity of the Approach Departure Protection Area, Obstruction Type(s):

(See Map and additional report)

Direction from Heliport Site:

Degrees:

Distance from Heliport Site: feet (FT)

Use a continuation sheet if there are others.

18. Possible Noise Sensitive Areas in the Vicinity; Description (i.e., School, Public Area, Wildlife, etc.):

None Known

Direction from Heliport Site:

Degrees:

Distance from Heliport Site: FT/NM

Use a continuation sheet if there are others.

19. Does the Heliport's Construction, Markings, and Safety Features Meet the AC 150/5390-2 Criteria?

A. Yes No

B. Explain: Still under construction

20. Does the Proponent have the Appropriate Building Permit and Zoning Application Approval from the Local/City/County Municipality? Yes No N/A

21. If Required, Does the Proponent Have the Appropriate Approval From the State Aviation Authorities? Yes No N/A

22. Has the Proponent Addressed Environmental Assessment Requirements? Yes No.

23. Is the Heliport Satisfactory for Helicopter Operations? Yes No.

Reasons for Response: Approach and Departure Paths are safe for operation but proposed work will include recommendations from AC150/5390-2B. Also, debris on helipad should be removed before operations which the proponent plans on accomplishing before heliport use.

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24. Does the Heliport Meet the Design Criteria in AC 150/5390-2 for the Following Subjects:

- A. General Yes No Reason:
- B. TLOF Yes No Reason:
- C. FATO Yes No Reason:
- D. Safety Area Yes No Reason: Clearing of Safety Area is planned
- E. VFR Approach/Departure Paths Yes No Reason:
- F. Magnetic Resonance Imagers (MRI) Yes No Reason:
- G. Windssock Yes No Reason: Windssock needs to be installed
- H. Taxiways and Taxi Routes Yes No Reason:
- I. Helicopter Parking Yes No Reason:
- J. Heliport Markers and Markings Yes No Reason: Markings are planned
- K. Heliport Lighting Yes No Reason: Day VFR Use Only
- L. Marking and Lighting of Obstructions Yes No Reason:
- M. Safety Enhancements Yes No Reason:
- N. Zoning and Compatible Land Use Yes No Reason:

25. Inspector Concurs/Nonconcurs with the Proposal: Concurs

A. Reasons for Nonconcurrency:

B. Inspector signature, Name, and Contact Information: Reynaldo Madrid,
reynaldo.madrid@faa.gov

 5/25/2012

3/3/11

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RESERVED. Paragraphs 8-219 through 8-233.

Page 5 of 5

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Location: 37 Mile Haines, Alaska

Location Elevation (feet MSL): 690

Check if Hospital Heliport:

Check if Prior Permission Required (PPR):

Check if TLOF Perimeter will be marked:

Check if FATO Perimeter will be marked:

Check if Standard "H" will be used:

Design Helicopter:	Eurocopter 350 A Star/Eureul
Max Takeoff Weight (pounds):	4960
Overall Length (feet):	42.45
Overall Height (feet):	10.96
Main Rotor Diameter (feet):	35.07
Main Rotor, Number of Blades:	3
Main Rotor, Ground Clearance (feet):	10.63
Main Rotor, Hub to Aft End (feet):	25
Tail Rotor Diameter (feet):	6.1
Tail Rotor, Number of Blades:	2
Tail Rotor, Ground Clearance (feet):	2.3
Undercarriage Type:	skid
Undercarriage Length (feet):	4.7
Undercarriage Width (feet):	7.48
Number of Engines - Type:	1-1
Crew:	1
Passengers:	6

Dimensions for General Aviation Heliport	
A	Minimum TLOF Width (feet): 35
B	Minimum TLOF Length (feet): 35
C	Minimum FATO Width (feet): 64
D	Minimum FATO Length (feet): 64
E	Min. separation between the perimeters of the TLOF and the FATO (feet): 14
F	FATO dimension Width (feet): 64
F	FATO dimension Length (feet): 64
F	Min. Safety Area Width (feet): 30
F	Total area required (square feet): 15296

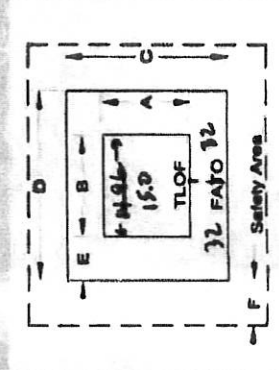
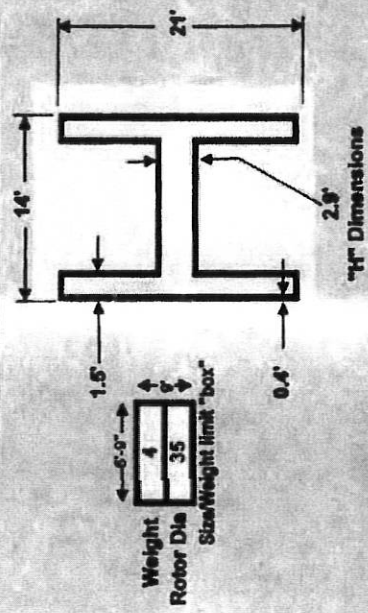
See Table 2-1

Heliport Dimensions

For heliports co-located with fixed wing airports see AC 150/5390-2B, "Heliport Design," Chapter 3

Users requiring assistance or reasonable accommodation may contact the FAA Central Region at 816-329-2600

Refer to AC 150/5390-2B, "Heliport Design" for specific guidance





HAINES BOROUGH, ALASKA
P.O. BOX 1209
HAINES, AK 99827
(907) 766-2231 FAX (907) 766-2716

May 26, 2016

Re: Heliport Conditional Use Permit: Further Discussion and Action
36 Mile Haines Highway; 3-HHY-36-3426; General Use Zone

Dear Land Owner,

Haines Borough records show that you own property within 200 feet of the above-listed property. The property owner, Michael Wilson, has requested for the Planning Commission to approve a conditional use permit to allow year-round heliport usage at 36 Mile Haines Highway.

The Haines Borough Planning Commission held a public hearing on the matter at the November 12th regular Planning Commission meeting, further discussion at the December 10th regular meeting, and approval of a conditional use permit for a heliport for winter heli-skiing only at the February 11th Planning Commission meeting. Michael Wilson has now submitted a conditional use permit for year-round heliport use; therefore, there will be further discussion and action regarding this proposal at the June 9, 2016 Planning Commission meeting, which will be held at 6:30 p.m. at the Haines Borough Assembly Chambers. As an owner of property within 200 feet of the above-listed property you are being notified that you are invited to attend and comment at the meeting. If you have any questions on the matter please contact the Borough.

Sincerely,

Kathryn Friedle
Administrative Assistant
Lands Department
kfriedle@haines.ak.us

cc: Michael Wilson

List of Property Owners Notified

State of Alaska Land

State of Alaska
Dept of Natural Resources
Mining Land & Water
Realty Services Section
550 W 7th Avenue Suite 1050A
Anchorage Alaska 99501

State of Alaska
Dept of Natural Resources
Mining Land & Water
South East Regional Office
PO Box 111020
Juneau Alaska 99811-1020

Native Allotment

Bureau of Indian Affairs
Attention: Cyril Andrews, Jr.
3601 C Street, Suite 1100
Anchorage, AK 99503

Crawford Smith, Jr
PO Box 906
Brodheads ville PA 18322

Barrington Smith
895 West 12th St apt 105
Juneau, AK 99801

Nicholas Kokotovich, Jr.
PO Box 78
Haines, AK 99827

Owner Address

Michael Wilson
8484 Duran Ct.
Juneau, AK 99801

Chapter 18.50 CONDITIONAL USE

HBC 18.50.040 Decision.

The commission shall hold a public hearing on the conditional use permit application. The commission may adopt the manager's recommendation on each requirement unless it finds, by a preponderance of the evidence, that the manager's recommendation was in error and states its reasoning for such finding with particularity. In addition, for good cause, the commission may alter the conditions on approval or requirements for guarantees recommended by the manager.

A. Before a conditional use permit is approved, the commission must find that each of the following requirements is met:

1. The use is so located on the site as to avoid undue noise and other nuisances and dangers;
2. The development of the use is such that the value of the adjoining property will not be significantly impaired;
3. The size and scale of the use is such that existing public services and facilities are adequate to serve the proposed use;
4. The specific development scheme of the use is consistent and in harmony with the comprehensive plan and surrounding land uses;
5. The granting of the conditional use will not be harmful to the public safety, health or welfare;
6. The use will not significantly cause erosion, ground or surface water contamination or significant adverse alteration of fish habitat on any parcel adjacent to state-identified anadromous streams;
7. The use will comply with all required conditions and specifications if located where proposed and developed, and operated according to the plan as submitted and approved;
8. Comments received from property owners impacted by the proposed development have been considered and given their due weight.

If the commission finds that the development implements all relevant requirements of this title, it shall issue a conditional use permit and the conditions and requirements shall be part of the approved permit. If the development does not implement all relevant requirements, or the commission otherwise determines the development is not in compliance with this title, the commission shall deny the permit and note with particularity its reasons for the decision.

B. The commission may alter the manager's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

1. **Development Schedule.** The conditions may place a reasonable time limit on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighbors, to ensure that lots are not sold prior to substantial completion of required public improvements, or to implement other requirements.
2. **Use.** The conditions may restrict the use of the development to specific uses indicated in the approval.
3. **Owner's Association.** The conditions may require that if a developer, homeowner or merchant association is necessary or desirable to hold or maintain common property, that it be created prior to occupancy.
4. **Dedications.** The conditions may require conveyances of title, licenses, easements or other property interests to the public, to public utilities, or to the homeowners association. The conditions may require construction of public utilities or improvements to public standards and then dedication of public facilities to serve the development and the public.
5. **Construction Guarantees.** The conditions may require the posting of a bond or other surety or collateral (which may provide for partial releases) to ensure satisfactory completion of all improvements required by the commission.
6. **Commitment Letter.** The conditions may require a letter from a utility company or public agency legally committing it to serve the development if such service is required by the commission.
7. **Covenants.** The conditions may require the recording of covenants or other instruments satisfactory to the borough as necessary to ensure permit compliance by future owners or occupants.
8. **Design.** The conditions may require the adoption of design standards specific to the use and site.

An Ordinance of the Haines Borough amending Haines Borough Code Section 18.30.040 to adjust code to match the actual planning commission meeting start time, to revise the review process for capital improvements and borough projects, and to delete references to the state-eliminated coastal zone management plan.

BE IT ENACTED BY THE HAINES BOROUGH ASSEMBLY:

Section 1. Classification. This ordinance is of a general and permanent nature and the adopted amendment shall become a part of the Haines Borough Code.

Section 2. Severability. If any provision of this ordinance or any application thereof to any person or circumstance is held to be invalid, the remainder of this ordinance and the application to other persons or circumstances shall not be affected thereby.

Section 3. Effective Date. This ordinance is effective upon adoption.

Section 4. Amendment of Section 18.30.040 Sub-Section 18.30.040 of the Haines Borough Code is hereby amended as follows:

NOTE: **Bolded/UNDERLINED** ITEMS ARE TO BE ADDED.
~~STRIKETHROUGH~~ ITEMS ARE DELETED

18.30.040 Planning commission.

The borough planning commission ("planning commission") consists of seven registered voters who have resided in the borough for 30 days or longer immediately prior to appointment. Planning commission members shall serve staggered terms of three years, and all appointments to the committee shall be made according to the provisions of HBC 2.60.055. Vacancies on the commission shall be determined by the mayor under the same regulations as HBC 2.10.240, guidelines for vacancies of the borough assembly, and shall be filled only for the unexpired portion of the term. Applications from persons interested in serving on the borough planning commission shall be solicited by public advertisement annually for the seats which are expiring and all applicants, as well as incumbent members, shall be given consideration for filling those seats.

A. The commission shall annually, after each general election of the borough, elect a chair who has the ability to vote on any question and is considered as part of a constituted quorum and such other officers as it deems necessary or desirable in the discharge of its powers and duties.

B. No action shall be taken by the commission except where a duly authorized quorum (four members) exists and where an affirmative vote of the quorum at a properly noticed public hearing is taken.

C. The commission shall meet on the second Thursday of each month at ~~7:00~~ **6:30** p.m., or at another regularly scheduled time as determined by a majority vote of the commission, or upon call of the chair. An agenda shall be prepared for each meeting. The agenda shall state the name of the Haines planning commission, the time, date and place of the meeting and a list of all agenda items. The agenda shall give a brief description of each item to be addressed, proposed development or other activity and state the action requested of the planning commission. The commission shall establish, by resolution, at least three locations in the borough for posting of the agenda. The agenda shall be posted at these locations at least 72 hours prior to the time of the meeting.

D. The commission shall keep a permanent record of its meetings in the form of meeting minutes, and the manager shall provide secretarial and other assistance to the commission to assist in this duty. The minutes of the meetings shall be copied and placed in the packets of the

borough assembly members for their next regularly scheduled meeting. Minutes and records shall be filed with borough clerk and retained as public records.

E. The commission shall conduct its activities within the requirements of Chapter 2.60 HBC, Committees, Boards and Commissions, unless specifically superseded by a section under this chapter.

F. The commission shall make such other rules and regulations governing the conduct of its business as it deems necessary or desirable.

G. The commission may prepare and make recommendations to the borough assembly for amendments to this title.

H. The commission ~~may~~ **shall** review annually the capital improvements program of the borough and submit its recommendations thereon to the borough assembly. The manager shall submit the capital improvements program to the commission in a reasonable period in advance of the fiscal year.

I. The commission shall review and report to the borough assembly regarding the location, design, construction, demolition or disposition of any public building, facility, collector or arterial street, park, green belt, playground or other public facility. The report and recommendation of the commission shall be based upon the comprehensive plan, ~~Haines Coastal zone Mmanagement Pplan~~ and the capital improvements program. **Plans for the construction of new Borough facilities shall come to the commission for review and a public hearing at the conceptual stage to 35% of design. At that time the commission shall decide whether additional public hearings and design review are required.**

J. The commission shall report to the borough assembly on all preliminary and final plats the commission has processed as the platting authority (see Chapter 18.100 HBC).

K. The commission shall, at least once every two years, review, prepare and adopt recommendations to the borough assembly ~~and the State Coastal Policy Council respectively~~ for amendments to the ~~Haines Coastal zone Mmanagement Pplan~~. The commission is responsible for implementing and enforcing the provisions of the ~~Haines Coastal zone Mmanagement Plan program~~ prior to the issuance of any permit approval under this title. (See Chapter 18.110 HBC for specific regulations.)

L. A comprehensive plan is a compilation of policy statements and maps for guiding the physical, social and economic development, both private and public of the borough, and may include, but is not limited to, the following: statements of policies, goals, standards, a land use plan, a lands classification plan and requirements for disposal of borough lands, a community facilities plan, a transportation plan, coastal development and management plan, and recommendations for plan implementations. The assembly shall be guided in the adoption of the comprehensive plan by the recommendations of the planning commission. The assembly may modify the plan, provided it first obtains the recommendations of the planning commission. The planning commission shall undertake the overall review of the plan at least once every two years and shall present recommendations based on the review to the assembly.

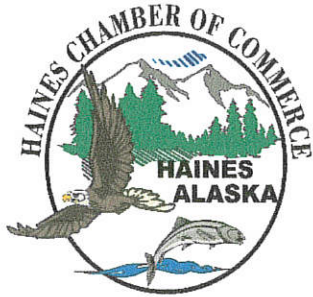
ADOPTED BY A DULY CONSTITUTED QUORUM OF THE HAINES BOROUGH ASSEMBLY THIS _____ DAY OF _____, 2016.

ATTEST:

Janice Hill, Mayor

Julie Cozzi, MMC, Borough Clerk

Date Introduced: 01/26/16
Date of First Public Hearing: 02/09/16
Date of Second Public Hearing: 03/08/16



Haines Chamber of Commerce

"Working Together to Build Business & Community"

219 Main Street, Suite 14
PO Box 1449 · Haines, AK 99827
907-766-2202 · 907-766-2271 (Fax)
chamber@haineschamber.org · www.haineschamber.org

May 27, 2016

RECEIVED HAINES BOROUGH

MAY 27 2016

CLERK'S OFFICE

Xi Cui, Planning & Zoning Technician III
Haines Borough
PO Box 1209
Haines, Alaska

Re: Proposed Code Revision, Title 18

Dear Xi:

The Chamber of Commerce is requesting a code amendment to allow mobile home parks to site small homes that are not "factory-assembled." The current code defines both mobile homes and modular homes as factory-assembled. A growing trend in the housing and construction trade is "tiny homes," which may or may not be assembled in a factory, and may or may not be built on a chassis, but which may still be moveable.

We have perused Title 18 and concluded that if code were revised to redefine "mobile home park," more options would be made available for mobile home parks to accommodate the changing trends in housing. Indeed, the Chamber thinks that such revisions would allow mobile home parks to better serve the social and economic needs of our elderly citizens, seasonal workers and young families.

With your agreement, please forward to the Planning Commission for its consideration the following amendments to these definitions found in Title 18:

"Mobile home" means a ~~factory-assembled~~ residence in which a chassis is an integral part of the structure. A mobile home shall continue to be classified as such regardless of its actual placement on concrete or other permanent foundation or removal of wheels, or addition of base skirts, or any combination of the foregoing. A travel trailer or recreational vehicle is not a mobile home.

"Mobile home park" means a residential **land** use consisting of an area, rented and utilized for occupancy by two or more mobile homes **and residences of less than 900 sq. ft. assembled in one or more sections to allow for ease of transport**, and accessory uses. This term shall not mean a campground for temporary parking of travel trailers or campers.

"Modular home" means a ~~factory-assembled~~ residence built in units or sections transported to a permanent site and erected on a foundation. It excludes mobile homes.

Sincerely,

Debra J. Schnabel, Ex. Director
Haines Chamber of Commerce

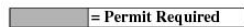
18.70.040 Zoning use chart.

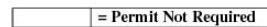
The following chart summarizes the uses allowed and the standards of review for each use, townsite planning/zoning district and the zones therein. In the commercial and industrial zones, more than one building housing a permissible principal use may be developed on a single lot; provided, that each building and use shall comply with all applicable requirements of this title. Additional requirements may be applicable to developments within some zones. See the definitions in Chapter 18.20 HBC for descriptions of each use.

ZONING USE CHART

TOWNSITE PLANNING/ZONING DISTRICT

UBR = Use-By-Right CU = Conditional Use NA = Not Allowed GFA = Gross Floor Area

 = Permit Required

 = Permit Not Required

Under General Classification, uses in UPPER CASE are primary and uses in lower case are secondary.

GENERAL CLASSIFICATION →	INDUSTRIAL USES			COMMERCIAL/ Residential Uses			RESIDENTIAL USES ONLY	RESIDENTIAL/ Commercial Uses				RECREATIONAL USE	
	Heavy Industrial	Light Industrial/ Commercial	Waterfront Industrial	Commercial	Waterfront	Significant Structures Area	Single Residential	Multiple Residential	Rural Residential	Rural Mixed Use	Multiple Use	Recreational	
USES ↓	I/H	I/L/C	I/W	C	W	SSA	SR	MR	RR	RMU	MU	REC	
Accessory Apartment	NA	NA	NA	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	NA
Accessory Uses	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR
Agriculture, Personal Use	NA	NA	NA	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	CU
Animal Husbandry	UBR	UBR	NA	NA	NA	NA	CU	CU	UBR	UBR	UBR	UBR	CU
Animal Shelter	UBR	UBR	NA	NA	NA	NA	NA	NA	CU	UBR	UBR	UBR	NA
Auto Repair	UBR	UBR	NA	UBR	NA	NA	NA	NA	CU	CU	UBR	UBR	NA
Auto Sales	NA	UBR	NA	UBR	NA	NA	NA	NA	NA	CU	UBR	UBR	NA
Auto Service Station	UBR	UBR	NA	CU	NA	NA	NA	NA	NA	CU	UBR	UBR	NA
Bed and Breakfast	NA	NA	NA	UBR	UBR	UBR	CU	CU	UBR	UBR	UBR	UBR	NA
Bulk Fuel Storage	UBR	UBR	UBR	CU	CU	NA	NA	NA	NA	CU	UBR	UBR	NA
Campground	NA	NA	NA	NA	CU	CU	NA	NA	NA	UBR	UBR	UBR	CU
Cemetery	NA	NA	NA	NA	NA	NA	NA	NA	CU	CU	NA	NA	NA

Child Care Facility	NA	CU	NA	UBR	CU	CU	CU	UBR	CU	UBR	UBR	NA
Church	NA	CU	NA	UBR	UBR	UBR	CU	CU	CU	UBR	UBR	NA
Club, Private	NA	UBR	NA	UBR	CU	UBR	NA	NA	NA	UBR	UBR	NA
Combination R/I/C	CU	UBR	CU	UBR	CU	UBR	NA	NA	NA	UBR	UBR	NA
Commercial, Light – Less than 500 sf	CU	UBR	CU	UBR	UBR	UBR	NA	CU	UBR	UBR	UBR	NA
Commercial, Medium – 500 – 5,000 sf	CU	UBR	CU	UBR	CU	CU	NA	NA	CU	CU	UBR	NA
Commercial, Major – More than 5,000 sf	UBR	UBR	UBR	UBR	CU	CU	NA	NA	NA	NA	UBR	NA
Communication Equipment/ Commercial	UBR	UBR	UBR	UBR	CU	CU	NA	NA	NA	CU	UBR	CU
Communication Equipment/Personal	NA	NA	NA	UBR	CU	CU	CU	CU	CU	CU	UBR	NA
Condominium/ Townhouse	NA	NA	NA	CU	CU	UBR	NA	UBR	NA	UBR	UBR	NA
Convalescent/ Nursing Home	NA	NA	NA	UBR	CU	CU	NA	UBR	NA	UBR	UBR	NA
Convenience Store	UBR	UBR	NA	UBR	CU	NA	NA	CU	NA	CU	UBR	NA
Correctional Facility	NA	CU	NA	CU	NA	NA	NA	NA	NA	NA	UBR	NA
Crop Production	NA	NA	NA	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	NA
Duplex	NA	NA	NA	CU	CU	UBR	NA	UBR	CU	UBR	UBR	NA
Educational Facility	NA	CU	NA	UBR	CU	CU	CU	CU	CU	UBR	UBR	CU
Fence on Lot Line/ Within Setback	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR
Fence not within Setback	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR
Firing Range	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Group Home	NA	CU	NA	UBR	CU	CU	NA	UBR	CU	UBR	UBR	NA
Guest House	NA	NA	NA	CU	CU	NA	CU	CU	CU	CU	CU	NA
Heavy Equipment Repair	UBR	UBR	UBR	UBR	NA	NA	NA	NA	NA	CU	UBR	NA
Heavy Equipment Storage	UBR	UBR	UBR	UBR	NA	NA	NA	NA	CU	UBR	UBR	NA
Home Occupation	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	NA
Hotel/Motel	NA	CU	NA	UBR	CU	UBR	NA	NA	NA	CU	UBR	NA
Industrial, Heavy	UBR	CU	UBR	CU	NA	NA	NA	NA	NA	CU	UBR	NA
Industrial, Light	CU	UBR	CU	CU	CU	NA	NA	NA	NA	CU	UBR	NA
Institutional Home	NA	NA	NA	UBR	NA	NA	NA	CU	NA	CU	UBR	NA
Junk Yard	UBR	UBR	NA	CU	NA	NA	NA	NA	NA	CU	UBR	NA
kennel	UBR	CU	NA	CU	NA	NA	NA	NA	CU	CU	UBR	NA

Landfill	UBR	UBR	NA	CU	NA	NA	NA	NA	NA	CU	UBR	NA
Marine Commercial Facility	NA	NA	UBR	NA	CU	CU	NA	NA	NA	NA	UBR	NA
Marine Industrial Facility	NA	NA	UBR	NA	CU	NA	NA	NA	NA	NA	UBR	NA
Mobile Home Park	NA	CU	NA	NA		NA	NA	NA	NA	CU	UBR	NA
Multiple Single-Family Residences	NA	NA	NA	CU	CU	NA	NA	CU	CU	CU	CU	NA
Multi-Unit Dwelling	NA	NA	NA	CU	CU	UBR	NA	UBR	NA	UBR	UBR	NA
Planned Unit Development	NA	NA	NA			CU	NA		CU	NA	UBR	NA
Play Field/Park	NA	CU	NA		CU	UBR	UBR	UBR	UBR	UBR	UBR	CU
Public Facility	CU	CU	UBR	UBR	UBR	UBR	CU	CU	CU	CU	UBR	CU
Recycling Facility	UBR	UBR	NA	CU	NA	NA	NA	NA	NA	CU	UBR	NA
Resource Extraction/ Proc.	UBR	CU	CU	CU	NA	NA	NA	NA	CU	CU	UBR	NA
RV Park	NA	CU	NA	CU	CU	NA	NA	NA	CU	UBR	UBR	NA
Single Unit Dwelling	NA	NA	NA	UBR	UBR	UBR	UBR	UBR	UBR	UBR	UBR	NA
Solid Waste Transfer Facil.	UBR	UBR	NA	CU	NA	NA	NA	NA	NA	CU	UBR	NA
Subdivision, Residential	NA	NA	NA	CU	UBR	UBR	UBR	UBR	UBR	UBR	UBR	NA
Temporary Structure	UBR	UBR	UBR	UBR	CU	CU	UBR	UBR	UBR	UBR	UBR	CU
Temporary Use	UBR	UBR	UBR	UBR	CU	CU	UBR	UBR	UBR	UBR	UBR	CU
Theme Park	NA	CU	NA	CU	CU	NA	NA	NA	NA	CU	UBR	CU
Trailer*/Mobile Home Outside Mobile Home Park	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	UBR	NA
Utility Facility	UBR	UBR	UBR	CU	CU	NA		NA	CU	CU	UBR	CU
Vacation Rental	NA	CU	NA	UBR	UBR	UBR	CU	UBR	UBR	UBR	UBR	NA
Zero Lot Line Commercial	UBR	UBR	NA	UBR	CU	NA	NA	NA	NA	CU	UBR	NA
Zero Lot Line Residential	NA	NA	NA	NA	NA	UBR	NA	UBR	NA	UBR	UBR	NA
Zoo	NA	UBR	NA	CU	CU	CU	NA	NA	CU	CU	UBR	CU

* Exception: Recreational trailers parked but not used for habitation or storage.

(Ord. 14-12-393 § 4; Ord. 13-09-349 § 7; Ord. 09-04-202 § 4; Ord. 07-04-153)

PERUSAL OF SELECTED SE-AK MUNICIPAL CODES**for "PARKS AND RECREATION" CITATIONS**

Burl Sheldon, Member, Haines Borough Parks and Recreation Advisory Committee

OVERVIEW: I'm providing this so that we can consider what other communities have done for their "Parks Ordinance." I've looked at Petersburg, Wrangell, Skagway, Craig and Haines and sections are provided below. Petersburg is by far the most well developed code dealing with Parks and Recreation, but Wrangell is very helpful, too. For the sake of brevity I didn't include about half of the Petersburg code which deals with the duties of the Director of the Department of Parks and Recreation; our having that position in Haines is unlikely. It takes just a minute to Google any community's municipal code. My only search inquiries were: "Parks and Recreation" (hence the yellow highlighter).

Petersburg's unique history has required a lot of campground-related code regulation and "prohibited" language to address the large seasonal need for camping cannery and cold storage workers whose jobs are right down town. Yours truly was once a Petersburg cold storage worker, camped in a makeshift dwelling, only about 100 yards from the Elementary school, and in a broken down trailer "out the road." Petersburg started getting tough on campers and creating rules at the end of the 1970's and their code is excessively focused correct vs. illegal camping. But there are useful things, as well.

Wrangell does something neat and useful: A) defines "Park" and B) defines certain parcels as Parks. There is also some "prohibited" language worth considering. Some of this we might use here and were are moving towards that, I think, at 3rd and Main. There are a few areas that I have emphasized by underlining. The order of code presentation is: Petersburg, Skagway (not of interest), Wrangell and Haines. Craig wasn't useful.

PETERSBURG Title 13**STREETS, SIDEWALKS AND PUBLIC PLACES**

Chapters:

- **Chapter 13.12 - CAMPING/RECREATION AREAS^[1]**

Sections:

- **13.12.010 - Purpose.**

The purpose of this chapter is to protect, preserve and control all **recreation** areas, campgrounds, campsites and camping on all lands owned or controlled by the borough.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.020 - Definitions.**

As used in this chapter, unless otherwise indicated, the following words and terms shall have the meanings set out in this section:

"Camp" or "Camping" means:

1. The erection of any tent for human occupancy regardless of whether said tent is of commercial manufacture or has been constructed in whole or part by any person;
2. The placing or leaving of any items normally found at a campsite such as cook stoves, lanterns, etc., if sleeping bags and/or other forms of bedding are also placed or left at the location;
3. The sleeping in any motor vehicle or camper unit;
4. Sleeping on the ground, with or without any tent, sleeping pad, or other form of bedding.

"Camping permit" means a permit issued by the **parks and recreation** department allowing the use of a designated area of borough owned or controlled property, including the Sandy Beach **Recreation** Area, for temporary camping upon proper application.

"Officer" or "official" means any borough official authorized to enforce the laws and protect land being unlawfully used for camping.

"**Parks and recreation** department" means the department established as defined in chapter 3.56 of this code.

"Sandy Beach **Recreation** Area" means that sector of land described as parcel number 000 01014190, located at 1031 Sandy Beach Road, to be used for picnicking and as a day facility only, between the hours of 7:00 a.m. and midnight.

"Self-contained camper unit" means all vehicles and trailers which contain sleeping facilities for one or more persons. Sleeping facilities shall also include any structure or area of any vehicle or trailer which circumstances indicate are actually

being used for sleeping and need not consist of actual beds or bunks. Self-contained camper units may also be referred to as "camper unit" or "campers" in this section.

"Tent" means a temporary and/or portable structure or shelter constructed in whole or in part from canvas, nylon, plastic sheeting or other tenting material and being used for the purpose of camping as defined in this section.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.030 - Camping on borough property prohibited—Sandy Beach recreation area.**

A.

Camping, as defined in section 13.12.020 of this chapter, is prohibited on borough owned or controlled property except in borough-designated public campground facilities or by camping permit.

B.

It is unlawful for any person to camp, as defined in section 13.12.020 of this chapter, or to live, reside or otherwise use the area designated as Sandy Beach recreation area for any purpose other than a picnic area and recreational day facility.

C.

It is unlawful for any person to knowingly enter or remain upon the area known as Sandy Beach recreation area except during the posted permitted use times.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.040 - Camping by permit.**

The Parks and Recreation Director may allow camping on borough owned or controlled property, including the Sandy Beach recreation area, by issuance of a camping permit. The permit shall specifically identify the user(s), the area where camping is temporarily being permitted, and the date(s) for which the user shall be allowed to camp.

The Parks and Recreation Director may impose a fee for issuance of a camping permit, and users shall specifically comply with sections 13.12.100 and 13.12.110 and all other provisions of this chapter.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.050 - Camping on private property located within service area 1.**

A.

Camping, as defined in section 13.12.020 of this chapter, is prohibited on private property located within service area 1 limits, except where allowed in properly licensed campground facilities; and on other private property in compliance with paragraphs B. and C. below.

B.

With written permission from the property owner, an individual may camp for up to 30 days.

C.

The person camping shall be in possession of written permission from the owner of said property which shall include the name of the person allowed to camp on the owner's property and shall specifically state the property owner's permission for the camper to use the sanitary facilities of the property owner.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.060 - Camping fees authorized.**

The parks and recreation director is authorized, with the approval of the borough manager, to establish camping fees and/or camping deposits for lands owned or controlled by the borough.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.070 - Payment of fees.**

It is unlawful to camp in a designated camping area on lands owned or controlled by the borough without having first paid the appropriate fee to the authorized agent for the borough and having obtained the requisite permit. Evidence of payment of the camping fees shall be immediately produced upon the request of the fee agent or any borough official. A deposit to insure payment of fees and/or cleaning of campsites at the termination of use may also be required prior to issuance of a permit.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.080 - Certain acts prohibited.**

It shall be unlawful for any person, when camping on borough owned or controlled property or utilizing a borough recreational area or adjacent parking area, to:

- A. Dispose of or deposit human body wastes or any other waste other than in authorized or designated receptacles;
- B. Make or cause to be made any unnecessary or unusual noise which annoys, injures or endangers the comfort, repose, health or safety of the public, or any individual member of the public;
- C. Deface, destroy, alter, remove or otherwise disfigure any equipment, sign, utility services or other facility owned or provided by the borough;
- D. Allow any dog owned, harbored or controlled by that person, to be at large. All fecal wastes of any dog discharged or deposited on any lands within a borough-owned or controlled campground or other area where camping is being permitted, shall be immediately removed by the person owning, harboring or controlling said animal and shall be deposited in trash receptacles;
- E.

Leave any campsite in a disorderly or unsightly condition during use or upon termination of use.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.090 - Storage and disposal of garbage, refuse and other wastes.**

All garbage, refuse and other waste created or compiled in the course of camping activities shall be properly stored during use of the campsite and upon termination of use disposed of in the provided garbage receptacles or off-site.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.100 - Unauthorized structures.**

Any tent or other structure erected, maintained, occupied or utilized on borough-owned or controlled land, unless otherwise permitted under this chapter, shall be unlawful and shall be subject to impoundment or disposal by an official.

(Ord. No. 2014-09, § 3, 6-2-2014)

- **13.12.110 - Violation—Penalty.**

A.

A person who violates a provision of this chapter shall be guilty of a violation, and shall be subject to a fine as provided in chapter 1.16 of the Borough Code.

B.

A person who violates a provision of this chapter is also liable for all costs and expenses incurred by the borough in the clean up and remedy of the violation, and administrative costs and attorney fees incurred by the borough as a result of the violation.

(Ord. No. 2014-09, § 3, 6-2-2014)

END PETERSBURG

NOTES on SKAGWAY “Parks and Recreation”:

References for a search of “Parks and Recreation” deal principally with animals at large. There is little of interest in the Skagway code.

* Need for Central Core ~~Attraction~~ + Enhancement
* Downtown Revitalize
* Lot 4A

WRANGELL, ALASKA

Chapter 13.12 PARKS AND RECREATION DEPARTMENT

Sections:

- 13.12.010 Definitions.
- 13.12.020 Reservations for use – Preferences.
- 13.12.030 Camping and overnight parking regulations.
- 13.12.040 Vehicle regulations.
- 13.12.045 Park trees regulations.
- 13.12.050 Fee schedules.
- 13.12.060 Additional regulations.

13.12.010 Definitions.

For the purpose of this chapter, the following terms, phrases, words and their derivations shall have the meaning given herein. When not inconsistent with the context, words used in the present tense include the future, words in the plural number include the singular number, and words in the singular number include the plural number. The word “shall” is always mandatory and not merely directory.

A. Borough (see WMC 1.04.010(2)).

B. “Director” is the borough manager, or designee made pursuant to WMC 3.52.030, who is immediately in charge of all park areas and activities. The director shall have the authority to designate certain areas of a park for camping and overnight parking. Said designated areas must be approved by assembly resolution. The director shall give notice by posted signs of those areas designated for specific use and of those regulations as are herein set forth or may be hereafter adopted. The director shall have the authority to direct borough personnel to post signs which are reasonably calculated to apprise persons of the limitations, regulations and restrictions governing conduct within a borough park.

C. “Park” is a park, reservation, playground, beach, recreation center or any other area of the borough, owned or used by the borough, and devoted to active or passive recreation (SIMPLE IDEA—DEFINE “PARK” THEN FOSTER ORDINANCE PLACING CERTAIN PROPERTIES IN THAT DEFINITION)

D. “Person” is any person, firm, partnership, association, corporation, company or organization of any kind.

E. "Shoemaker Park" refers to that park and related facilities located in the borough and commonly referred to as Shoemaker Park, and as more particularly and legally described in Exhibit A incorporated herein by this reference as if fully set forth. DEFINES CERTAIN AREAS/PARCELS WITHIN THE BOROUGH AS "PARKS"—I Like.

F. "Vehicle" is any motorized conveyance, including, but not limited to, cars, trucks, motorcycles, heavy equipment, golf carts, and ATVs. This term shall not include wheelchairs. Exception is made for vehicles in the service of the borough parks. [Ord. 904 § 3, 2015; Ord. 482 § 4, 1985; prior code § 47.30.010.]

13.12.020 Reservations for use – Preferences.

A. Reservations for the use of park facilities for picnic and other short-term usages may be made by application submitted to the director. Such reservation shall accord the grantee the privilege of securing advance usage of the sheltered facilities, but confer no privilege to require the removal of campers or other nonreserved users actually using the premises at the time the application is made. No person shall be denied reservations, unless the director determines that the proposed activity and the use of the park will unreasonably interfere with or detract from promotion of public health, welfare, safety and recreation, or unless the facilities desired have been reserved for other use at the day and hour requested.

B. It shall be the policy of the director to give persons wishing to use the borough parks for picnicking or other short-term activities a preference over campers, with regard to the use of the sheltered facilities. [Ord. 482 § 4, 1985; prior code § 47.30.040.]


13.12.030 Camping and overnight parking regulations.

A. Persons camping in any borough park not otherwise regulated by this section shall be limited to a period of 48 consecutive hours of usage, which 48-hour period shall not occur more than once every two weeks. No person shall camp within sheltered facilities of any borough park. Unless otherwise regulated by this section, no vehicle of any kind shall be permitted to park overnight in any borough park unless the vehicle is accompanied by one or more persons camping in a tent.

B. Persons camping in Shoemaker Park, either by erecting tents or other temporary shelters or without any shelter, in those areas designated by the director for camping, shall be limited to a period of 120 consecutive hours of usage with such usage not to occur more than once every calendar month. No person shall camp under or within the sheltered facilities of Shoemaker Park. Vehicles will be permitted to park overnight in Shoemaker Park in those areas designated by the director for overnight vehicle parking for a period limited to 240 consecutive hours with such parking not to occur more than once every calendar month. Overnight parking shall be limited to those vehicles which are designed for and being used as overnight sleeping facilities. [Ord. 868 § 2, 2013; Ord. 482 § 4, 1985; prior code § 47.30.020.]

13.12.040 Vehicle regulations.

No person in a park shall drive any vehicle on any area except the park roads or parking areas, or such other areas as may on occasion be specifically designated as temporary park roads or parking areas by the director. [Ord. 482 § 4, 1985; prior code § 47.30.030.]

13.12.045 Park trees regulations. 

A. Illegal Tree Cutting. No unauthorized person shall cut, top, remove or otherwise damage any tree or shrub, whether dead or alive, standing or downed, within any public park, recreation area, trail, conservation area, park reserve, or other public greenway area. Any person who violates this section shall be guilty of a civil violation and shall be liable on conviction to a fine not exceeding \$300.00.

[RIGHT – I THINK PROHIBITING TREE CUTTING IN HB PARKS IS APPROPRIATE]

Illegal cutting on City and Borough of Wrangell public property should be reported to the Wrangell police department. [Ord. 880 § 2, 2014.]

13.12.050 Fee schedules. 

The assembly hereby establishes the following fees for use of City and Borough of Wrangell owned parks and recreation facilities. Such fees may be amended from time to time by the assembly. Unless amended by the assembly, the schedule of fees established by this section shall be automatically adjusted annually beginning on July 1, 2015, as shown in the fee schedules without further need for assembly action.

A. Swimming Pool and Recreation

Pool, Weight Room, Showers			
4 Years and Under	\$	1.25	\$ 2.00
Youth: 5 Years to 17 Years	\$	2.50	\$ 3.00
Adult: 18 Years and Older	\$	3.25	\$ 5.00
Seniors: 65 Years and Older	\$	1.25	\$ 3.00
Families	\$	10.00	\$ 12.00
Disabled	Free		Free
10% Discount on 10-Punch Card	\$	29.25	\$45.00
15% Discount on 20-Punch Card	\$	55.25	\$80.00

Center.

Pool Passes	1 Mo = 25% discount (based on 3X/wk use) / 3-Mo = 35% discount / 6-Mo = 45% discount / Annual = 55% discount (Adult Couple = Additional 10% discount)	
Youth - 1 Month	\$ 40.00	\$ 27.00
Youth - 3 Months	\$ 90.00	\$ 70.00
Youth - 6 Months	NA	\$ 119.00
Youth - 1 Year	\$ 150.00	\$ 195.00
Adult - 1 Month	\$ 60.00	\$ 45.00
Adult - 3 Months	\$ 140.00	\$ 117.00
Adult - 6 Months	NA	\$ 198.00
Adult - 1 Year	\$ 300.00	\$ 324.00
Adult Couple - 1 Month	NA	\$ 81.00
Adult Couple - 3 Months	NA	\$ 211.00
Adult Couple - 6 Months	NA	\$ 356.00
Adult Couple - 1 Year	NA	\$ 583.00
Senior - 1 Month	\$ 40.00	\$ 27.00
Senior - 3 Months	\$ 90.00	\$ 70.00
Senior - 6 Months	NA	\$ 119.00
Senior - 1 Year	\$ 150.00	\$ 195.00
Family - 1 Month	\$ 130.00	\$81.00 + \$6.75 each youth
Family - 3 Months	\$ 225.00	\$211.00 + \$18.00 each youth
Family - 6 Months	NA	\$356.00 + \$30.00 each youth
Family - 1 Year	\$ 450.00	\$583.00 + \$50.00 each youth
Employee Wellness Annual Pass	\$ 300.00	\$324PP less 5% discount
	Definition of Adult Couple: Two adults in a domestic partnership	
	Definition of Family: Up to two domestic partnership adults and their children	
	Employee Wellness Benefit: This benefit is for Local businesses and 501c3 entities. Employees will receive a 5% discount off the total cost of the employees pass price.	

Haines Borough Code Sections with "Parks and Recreation" Citations

Chapter 2.105

PARKS AND RECREATION DEPARTMENT

Sections:

- [2.105.010](#) Haines Borough parks and recreation department.
- [2.105.020](#) Parks and recreation advisory committee.
- [2.105.030](#) Organization of the parks and recreation advisory committee.
- [2.105.040](#) Advisory committee vacancies – Filling vacancies.
- [2.105.050](#) Duties and responsibilities of the parks and recreation advisory committee.

[2.105.010 Haines Borough parks and recreation department.](#)

The purpose of the parks and recreation department is to maintain, promote, and facilitate the use of borough-owned parks and recreational facilities; and to facilitate recreational activities in general in the Haines Borough. (Ord. 11-04-260 § 4; Ord. 04-09-084)

[2.105.020 Parks and recreation advisory committee.](#)

The parks and recreation department advisory committee shall consist of seven members who shall serve staggered terms of three years. Advisory committee members shall not receive compensation for services rendered. The community youth development coordinator shall serve as an ex officio member of the advisory committee. Members will be appointed to reflect the diversity of user groups in the Haines Borough. (Ord. 11-04-260 § 4; Ord. 04-09-084)


2.105.030 Organization of the parks and recreation advisory committee. 

- A. The advisory committee shall elect a chairperson, a vice-chairperson, and a secretary, who shall hold their offices for one year.
- B. The advisory committee shall operate under the bylaws of the parks and recreation advisory committee.
- C. Advisory committee meetings shall be held as often as required. Once approved by the board, a copy of the committee meeting minutes shall be delivered to the borough clerk for inclusion in the assembly's next meeting packets. (Ord. 11-04-260 § 4; Ord. 04-09-084)

2.105.040 Advisory committee vacancies – Filling vacancies. 

A member's position on the advisory committee shall be deemed vacated if the member fails to attend three consecutive meetings without being excused by the advisory committee.

All appointments to the board shall be made according to the provisions of HBC 2.60.055. (Ord. 14-01-363 § 10; Ord. 11-04-260 § 4; Ord. 04-09-084)

2.105.050 Duties and responsibilities of the parks and recreation advisory committee. 

The parks and recreation department advisory committee shall:

- A. Advise the borough in the operation and maintenance of parks and recreation programs, facilities, and activities. (Ord. 11-04-260 § 4; Ord. 04-09-084)

FROM SECTION 18.70 HB Code

In Haines Zoning Distircts Parks and Recreation sites are conditional uses in the Rural Residential Zone and in the Riparian Zone. In the General Use Zone, Parks are a Use By Right

**Chapter 18.20
DEFINITIONS**

7.04.040 Establishment and abolishment of Service Areas. 

Upon a determination of the assembly under HBC 7.04.030 that a service area is necessary, the assembly may by ordinance establish the service area, contingent upon approval of the ordinance by a majority vote of the voters within the proposed service area in a general or special election. The assembly may by ordinance abolish a service area, except that road maintenance, fire protection, or parks and recreation service areas require approval by a majority of voters residing in the service area prior to abolishment.

Chapter 2.102 COMMUNITY YOUTH DEVELOPMENT PROGRAM

Sections:

2.102.010 Haines Borough community youth development program.

2.102.010 Haines Borough community youth development program.

The purpose of the community youth development program is to assist the youth of the Haines Borough to develop into socially responsible and capable citizens by providing opportunities for youth to take an active part in wholesome activities which will develop their individual and group capabilities and responsibilities. The Haines Borough community youth development program will be organized and regulated by the parks and recreation advisory board. (Ord. 04-09-084)

Chapter 12.40 PICTURE POINT PARK

Sections:

- [12.40.010](#) Definitions.
- [12.40.020](#) Picture Point Park establishment and values.
- [12.40.030](#) Regulations for protection of natural resources and wildlife.
- [12.40.040](#) Reserved rights and allowable uses.
- [12.40.050](#) Park operation.
- [12.40.060](#) Enforcement and penalties.

12.40.010 Definitions.

As used in this chapter:

“Permit” means Department of the Army permit number POA-2009-1303 Portage Cove issued by the Juneau Regulatory District Corps of Engineers on June 24, 2010, required to mitigate for unavoidable impacts authorized by that permit.

“Property” means that area of tidelands and submerged lands located at Picture Point owned by the borough, whose legal description is:

Commencing at the southernmost property corner of Lot 3 Nukdik Point View Subdivision, Plat No. 2009-1, which is at the 1987 meander line of ATS 1308, from which the Northwest property corner of Lot 3 bears N 45° 42' 52" W a distance of 67.69 feet thus being the Basis of Bearing for this legal description; thence N 54° 55' 31" E a distance of 390.04 feet to the True Point of Beginning; thence S 49° 41' 53" E a distance of 138.82 feet; thence N 45° 54' 51" E a distance of 141.7 feet; thence N 66° 46' 51" a distance of 81.68 feet; thence N. 10° 24' 31" W a distance of 73.92 feet; thence S 89° 31' 21" W a distance of 79.55 feet; thence S 53° 52' 18" W a distance of 33.38 feet; thence S 74° 16' 56" W a distance of 62.49 feet; thence S 47° 42' 21" W a distance of 88.92 feet; thence S 65° 54' 02" W a distance of 40.26 feet to the Point of Beginning, containing 0.649 acres more or less.

(Ord. 11-10-274 § 4)

12.40.020 Picture Point Park establishment and values.

The establishment of a public park at Picture Point is a condition of the permit.

The Haines Borough recognizes the conservation, scenic, natural, or aesthetic value of the property in its natural state. The purpose of this public park is to maintain aquatic resources and other natural values of the property, and prevent the use or development of the property for any purpose or in any manner that would conflict with the maintenance of the property in its natural condition. (Ord. 11-10-274 § 4)

12.40.030 Regulations for protection of natural resources and wildlife.

Any activity on, or use of, the property inconsistent with the purpose of this public park is prohibited unless identified as an allowable use. Any construction activity on this restricted area is prohibited, except:

- A. Public utilities may be constructed, operated, maintained, extended or located in existing utility easements provided the borough or its permittee returns any tideland disturbed from utility construction activity to its natural state.
- B. Construction activities as allowed by the permit for educational, cultural, or recreational purposes.
- C. Construction of facilities to be used for educational, recreational, or cultural purposes after consultation with and approval of the U.S. Army Corps of Engineers.
- D. An elevated walking trail for the purpose of environmental education and awareness may be constructed at the site, provided the project is within the scope of the U.S. Army Corps of Engineers nationwide permit on minor discharges or structural discharges. (Ord. 11-10-274 § 4)

12.40.040 Reserved rights and allowable uses.

The Haines Borough reserves, for itself, its citizens, personal representatives, heirs, successors or assigns, the right to continue the use of the property for all purposes consistent with this establishment of a public park, including, but not limited to, the right to quiet enjoyment of the property, the rights of ingress and egress, including, but not limited to, traditional and contemporary subsistence and cultural activities, the right to fish, gather, and hike on the property, and the right to sell, transfer, gift or otherwise convey the property, in whole or in part, provided such sale, transfer or gift conveyance is subject to the terms of, and shall specifically reference, this chapter.

The following uses within the park boundaries are generally allowed:

- A. Fishing, or placement of a crab pot or shrimp pot that complies with applicable municipal, state, and federal statutes and regulations on the taking of fish and shellfish.
- B. Harvesting a small number of wild plants, mushrooms, berries, and other plant material for personal, noncommercial use.
- C. Hiking, backpacking, skiing, climbing, and other foot travel.
- D. Using watercraft (such as a boat, jet-ski, raft, kayak, or canoe) in a manner that minimizes surface damage, without damaging the property.
- E. Signs may be displayed to state:
 - 1. The name and address of the property, or the owner's name;

2. The area is protected by this chapter as adopted by the Haines Borough Assembly;
3. Prohibition of any unauthorized entry or use;
4. Sale or rent of the property;
5. To warn the public of hazards (if any); or for
6. Environmental education, awareness, or interpretive panels.

F. Placing riprap or other suitable bank stabilization material to prevent erosion of a contiguous privately owned upland parcel if material is placed onto stable shoreland and the project is otherwise in the scope of the U.S. Army Corps of Engineers nationwide permit on bank stabilization.

G. An event or assembly of 50 people or less, including events sponsored by nonprofit organizations or commercial events.

H. Recreational or other uses not listed above may occur within the park boundaries, provided the use:

1. Is not a commercial recreational camp or facility that remains overnight;
2. Does not involve explosives or explosive devices other than borough-sponsored fireworks displays;
3. Is not prospecting or mining using hydraulic equipment methods;
4. Is not for geophysical exploration for minerals or an oil and gas exploration;
5. Does not cause or contribute to significant disturbance of vegetation, drainage, or soil stability;
6. Does not interfere with public access or other public uses or interests.

Notwithstanding the foregoing restrictions, the owner reserves for itself, its successors and assigns the right to construct wetland, intertidal and stream mitigation on the property, in accordance with the compensatory mitigation plan for the permit dated April 2011. (Ord. 11-10-274 § 4)

12.40.050 Park operation.

A. Permits. Temporary use permits issued under HBC 14.16.200 are required for special events.

B. Park Fees. Fees as set by action of the assembly shall be charged for special events accompanied with a damage deposit. (Ord. 11-10-274 § 4)

12.40.060 Enforcement and penalties.

A. Enforcement.

1. The Haines Borough manager shall have the right to issue administrative regulations pertaining to use of

the property subject to approval of the assembly.

2. The Haines Borough police department, other licensed peace officers, and designated Haines Borough employees shall have the authority to enforce this chapter and any city manager regulations and may eject from the park any persons acting in violation of this chapter or any temporary use permit issued for use of the property.

3. Nothing in this chapter shall prevent Haines Borough employees from performing their assigned duties.

4. Enforcement of this chapter shall be in the same manner set forth in Chapter 9.01 HBC.

B. Penalties. Violations of this chapter are subject to the same penalties as provided in Chapters 1.24 and 9.01 HBC. (Ord. 11-10-274 § 4)

18.80.030 Setbacks and height.

A. Setbacks are measured from the outermost portion of the building to the nearest lot line or building as appropriate. Incidental architectural features such as window sills, cornices and eaves may not project into any required setback. This regulation also applies to cantilevered floors, decks or other similar building extensions. No building or structures may be located within a setback, except that fences may be constructed within the required setback by permit. The following items shall be exempt from setback requirements, provided the item is located to achieve its purpose without constituting a hazard to vehicles or pedestrians, is located such that it does not obscure sight angles at intersections or driveways, and is not in any location prohibited by state regulation:

1. Driveways and culverts that meet Chapter 12.08 HBC;
2. Parking areas that meet Chapter 10.44 HBC;
3. Satellite dishes;
4. Signs that meet Chapter 18.90 HBC;
5. French drains, culverts, or similar infrastructure;
6. Public utilities; and
7. Fences outside of the townsite service area.

Where more than one setback standard is applicable, the most restrictive setback standard applies.

B. Height is measured from the average grade of the footprint of the structure to the highest point on the structure, measured at the center of each of the four exterior walls.

Setbacks and Height Restrictions by Zone								
Zoning District	Height Limit (in feet)	Industrial Setbacks (in feet) ***		Commercial Setbacks (in feet)		Residential Setbacks (in feet)		
		From Street Lot Lines	From Residential Lots	From Street or Alley Lot Lines	From Other Lot Lines	From Street Lot Lines	From Alley Lot Lines	From Other Lot Lines
I/H	30 *	0	50	0	0	N/A	N/A	N/A

I/L/C	30	0	50	0	0	20	10	10
I/W	30	0	50	0	0	20	10	10
C	30	0	50	0	0	20	10	10
W	30	0	50	0	0	20	10	10
SSA	30 **	N/A	N/A	10	5	20	10	10
SR	30	N/A	N/A	N/A	N/A	20	10	10
MR	30	N/A	N/A	0	0	20	10	10
RR	30	N/A	N/A	0	0	20	10	10
RMU	30	0	50	0	0	20	10	10
MU	30	0	50	0	0	20	10	10
REC	30	N/A	N/A	N/A	N/A	20	10	10
GU	N/A	20	10	20	10	20	10	10
MBRR****	N/A	N/A	N/A	N/A	N/A	25	25	25
LUTAK RR*****	35	N/A	N/A	N/A	N/A	10	10	10

* May exceed 30 feet only by provisions of a conditional use permit granted by the planning commission.

** May be up to 40 feet under the provisions of a conditional use permit granted by the planning commission, but only if for a replica building replacing a building of that height that has been destroyed, and if all special provisions of the historic district and all other provisions of this title are met.

*** As long as all requirements of the state fire code or other applicable regulations are met.

**** The Chilkat State Park Road right-of-way is exempt from the setback requirements.

***** Exception: Properties located along the Lutak Spur road (from the Chilkoot River bridge to the end of the road) where there will be no minimum setback along the road front right-of-way. Setbacks will apply for all other property lines along the Lutak Spur road.

Buildings constructed to zero lot line must be designed so that snow falling from the roof is not deposited on adjacent properties.

The distance between unattached buildings must be 15 feet unless approved as a conditional use by the planning commission. Building separation is intended for public safety; fire-related concerns must meet the

approval of both the State Fire Marshal and local fire department, where applicable. The 15-foot separation between unattached buildings applies only when at least one of the buildings is for human occupancy.

Setbacks from anadromous fish streams: See HBC 18.60.010(P).

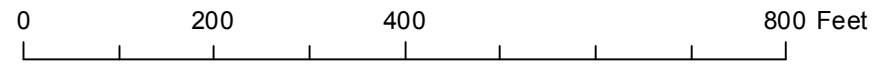
Between Second Avenue and the intersection of Union Street and Main Street, all structures must be set back 20 feet from lot lines adjacent to Union Street. Due to its historical nature, Block 16, Haines Townsite Subdivision shall have special setbacks. All structures built within Block 16 must be set back a minimum of 10 feet from any property lines not abutting Union Street.

If a publicly owned road easement exists inside of a property line, the setback shall be measured from the easement line and not the property line.

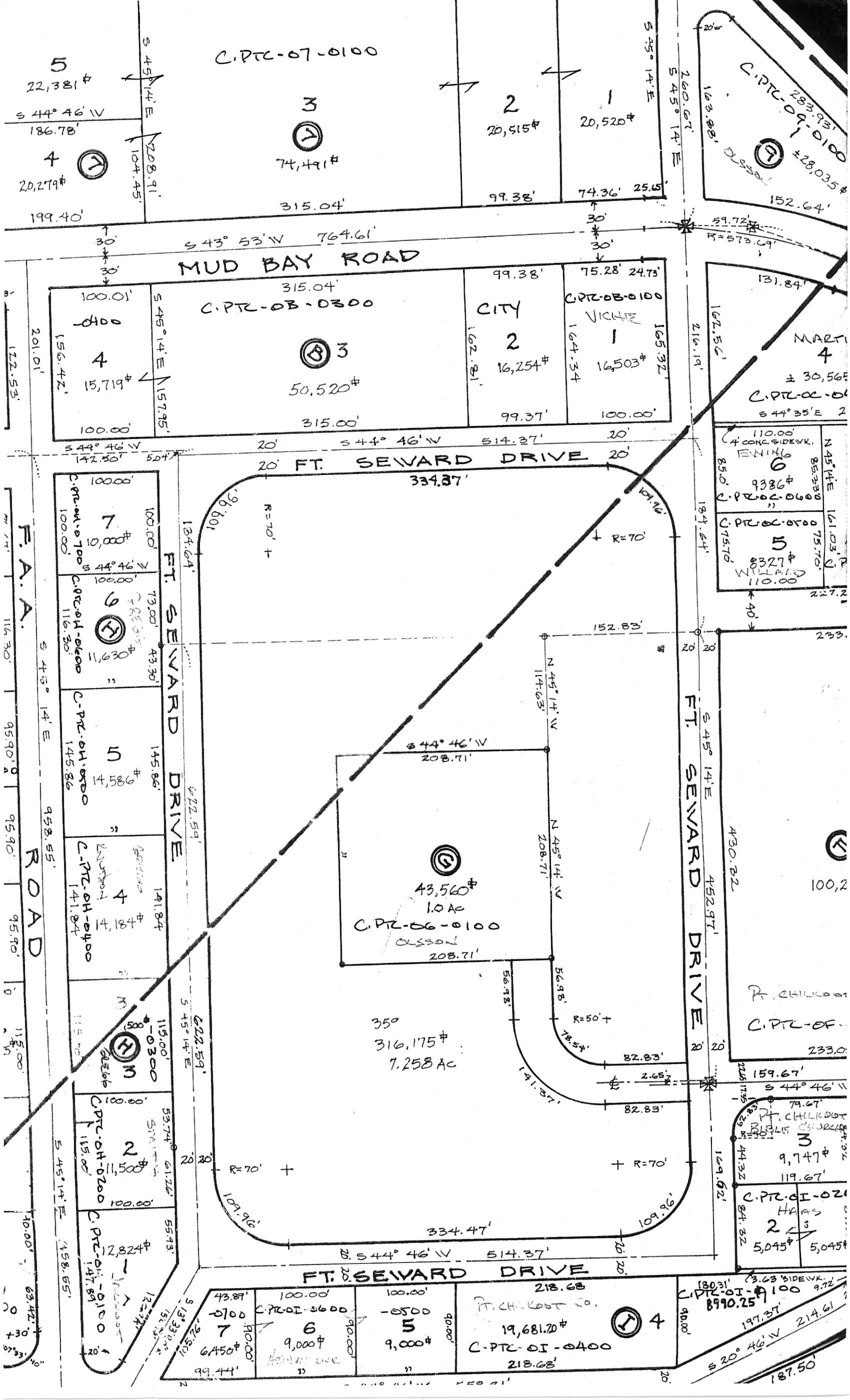
If a public utility easement exists inside of a property line, the setback shall be measured from the easement rather than the property line and shall be not less than 10 feet unless a variance is granted by the planning commission.

(Ord. 13-12-358 § 4; Ord. 13-05-328 § 4; Ord. 12-09-303 § 4; Ord. 11-03-259 § 4; Ord. 10-09-239 § 4; Ord. 09-04-203 § 4)

10D1



OWNTYPE ■ BOROUGH ■ PRIVATE ■ STATE



C.P.T.C-07-0100

5
22,381#
S 44° 46' W
186.78'
4
20,279#
199.40'

3
74,491#
315.04'

2
20,515#
99.38'

1
20,520#
74.36' 25.65'

C.P.T.C-09-0100
283,931#
428,035#
152.64'

MUD BAY ROAD

C.P.T.C-0B-0300

CITY

C.P.T.C-0B-0100

4
15,719#
100.00'
156.42'
100.00'

3
50,520#
315.00'

2
16,254#
99.37'

1
16,503#
100.00'

MARTIN
4
30,565#
C.P.T.C-0C-0400
S 44° 35' E 2'

20 FT. SEWARD DRIVE

7
10,000#
100.00'
100.00'

334.37'

6
9386#
C.P.T.C-0C-0600
5
8327#
WILLARD
110.00'

F.A.A. ROAD

FT. SEWARD DRIVE

FT. SEWARD DRIVE

6
11,630#
116.30'

5
14,586#
145.86'

4
14,184#
141.84'

3
11,500#
115.00'

2
11,500#
115.00'

2
12,824#
128.24'

7
6,450#
64.50'

43,560#
1.0 AC
C.P.T.C-06-0100
OLSSON
208.71'

350
316,175#
7.258 AC

218.68
C.P.T.C-0I-0400
19,681.20#
218.68'

3
9,747#
119.67'

2
5,045#
5,045#

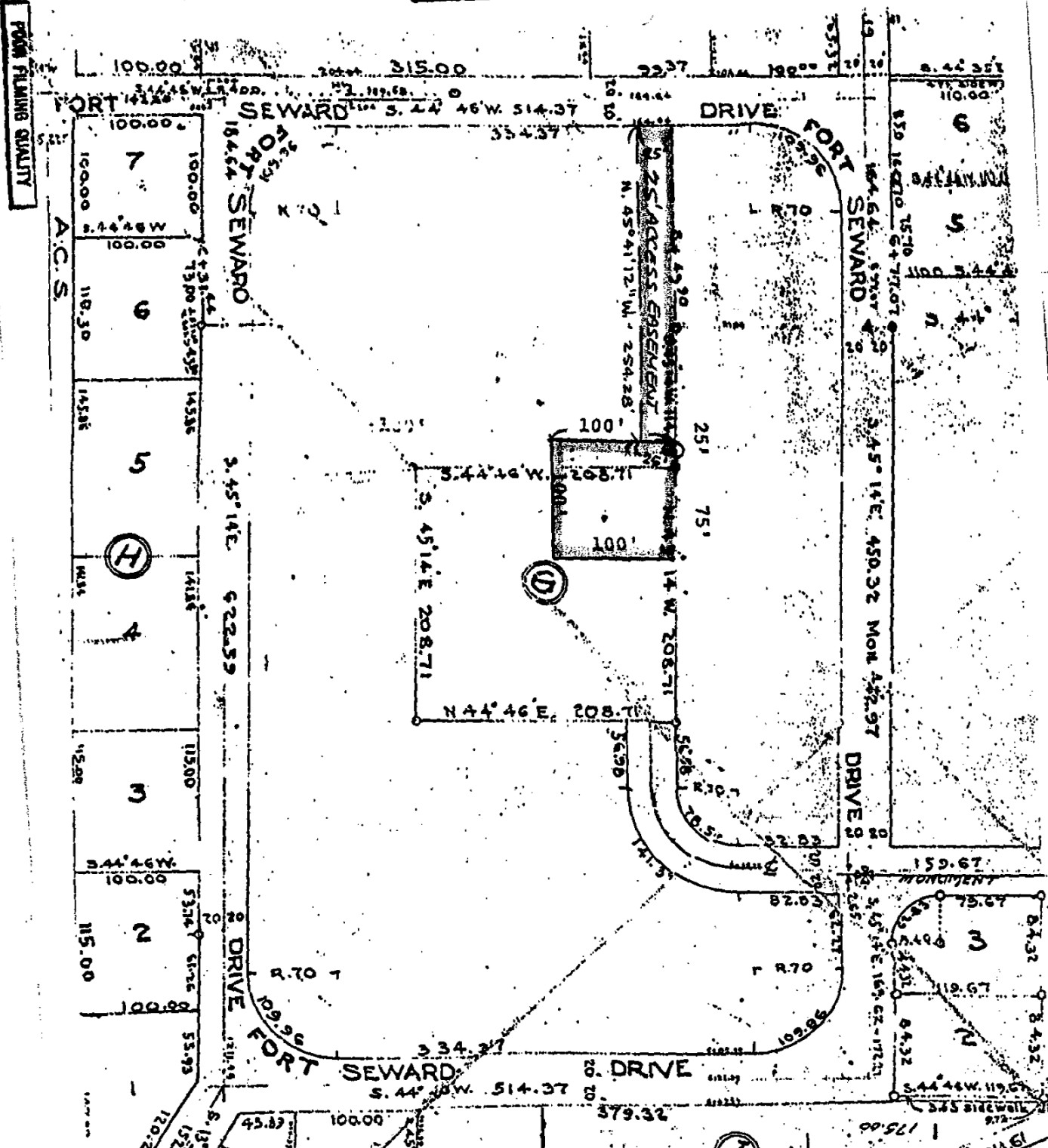
4
8,990.25#
C.P.T.C-0I-0100
197.37'

6
9,000#
9,000#

4
197.37'

86-475

RECORDED - FILED 640
Haines REC. DIST.
DATE 8/28 1986
TIME 11:30 A.M.
Requested by Alaska Indian Arts, Inc
Address _____



POOR FILING QUALITY

Notes on CVP SER meeting

Date: 4-12-16

Time: 10:15-11:15

Place: Borough Office

Present: Steve Cunningham, Rene Hoffman (CVP) Roger Schnabel (SER) Heather Lende (HBPC)

DISCUSSION:

We discussed the issue regarding SER activity in the area of the proposed CVP, Tlingit Park Playground, Senior Citizens Center, and Senior Village.

RS wanted to be sure he had full rights to use his commercial property, eight lots between First Ave, Mission St. and Third Ave and bit of what was once platted as an Old Haines Highway, First Ave, and Front St. intersection. (We consulted Borough maps.)

RH and SC noted that the CVP use in the area is actually the least impact, as it only operates mornings, is mostly indoors, and is closed in the summer, whereas the park, playground and senior activities are daily and year-round and involve more residents.

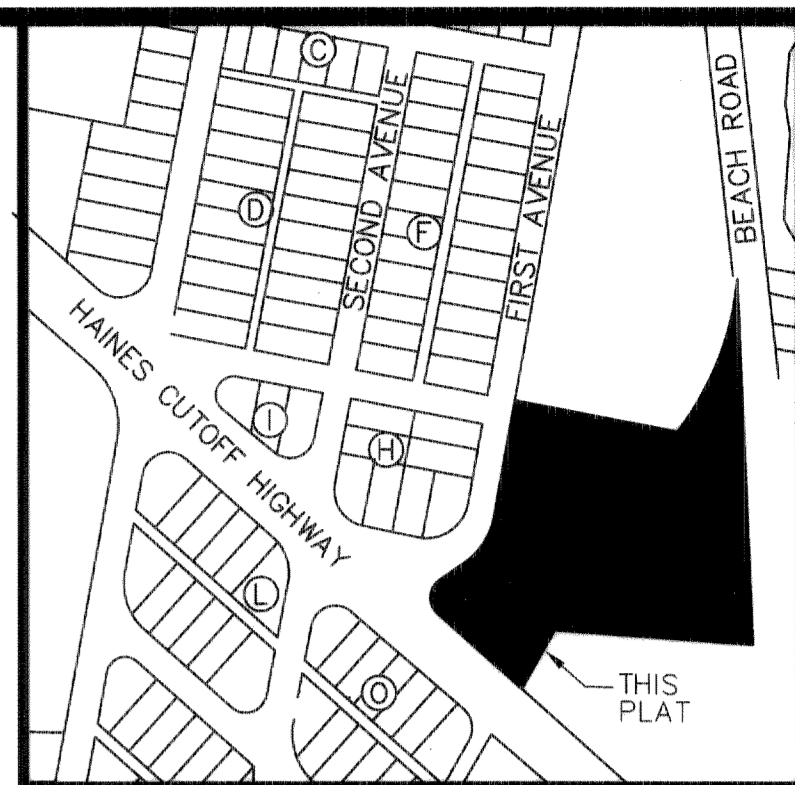
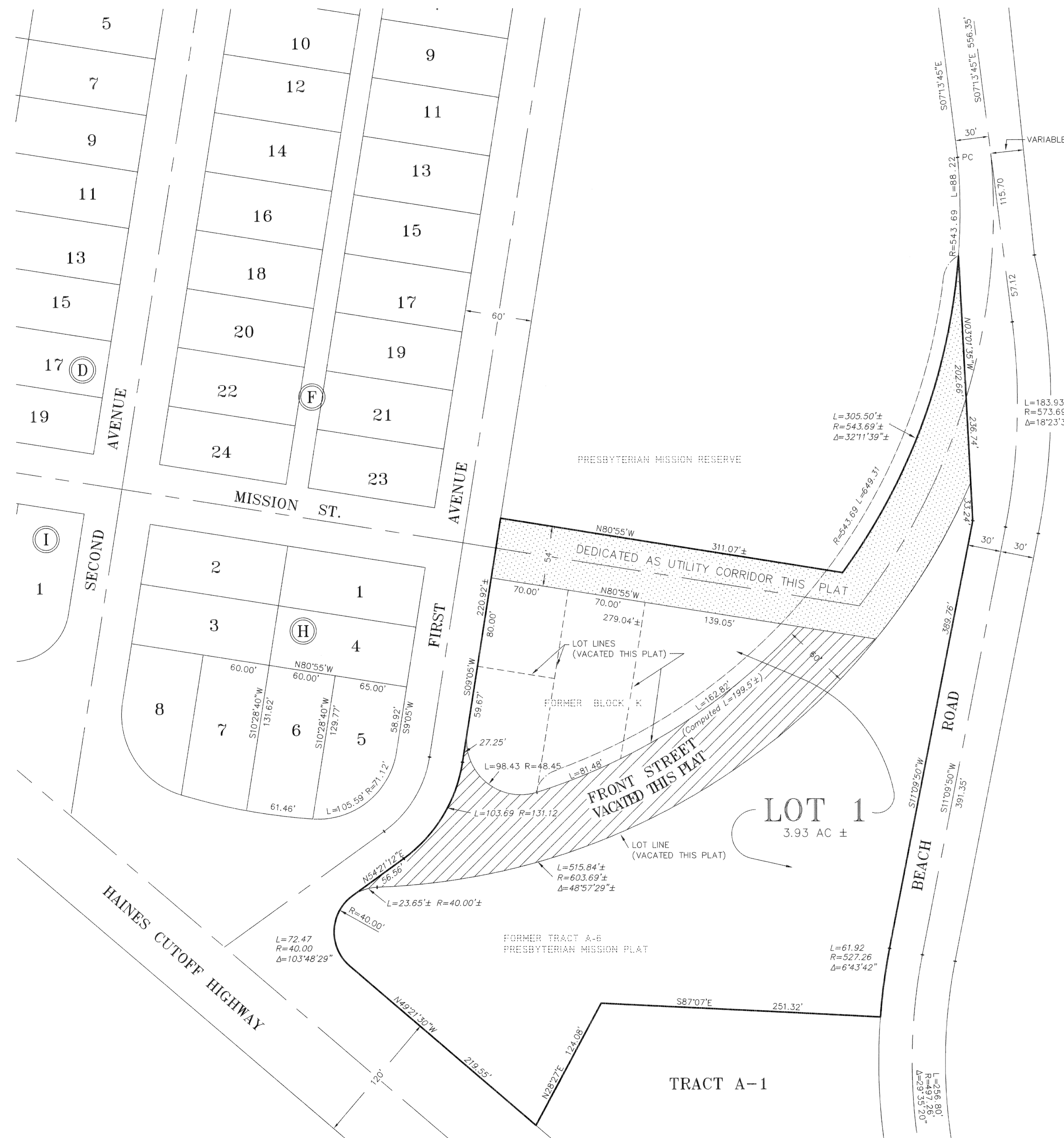
RS asked how long the plan was to have the area used this way and was the CVP temporary or long term? RH replied that the CVP lease with the Borough was 30 years with renewal options. HL said the area development leans toward park, seniors, the church, clinic, etc, and would probably expand that way, rather than more heavily commercial uses, and it was zoned commercial, not light industrial or heavy industrial.

ACTION REQUEST: With positive discussions and good will, all agreed that the best solution would be to not extend First Ave to the Old Haines Highway, and vacate the road to make a cul-de-sac for access and parking to the playground, senior center, park, etc, and to make sure RS was given 2 parking spaces per First Ave lot, on the vacated First Avenue (for lots 1,3,5) and that his lot lines on 8,7,6,5 be extended to the Old Haines Highway to match the change there. Lot 5 would remained curved, to add more space for turn-around. All agreed to ask the PC to move ahead on these suggestions as a fair solution to a potential conflict.

OTHER:

RS also requested that he be guaranteed commercial, zero-lot status forever (at least fifty years) and that his use by right that exists in current zoning be grandfathered in forever. HL said she'd bring his request forward, but had some concerns that would not be possible or advisable, as uses and zoning change over time.

RS also said he would sell lots in conflict to the borough, but the committee did not feel that was needed at this time and hopes the action above will make all users happy.



- Notes:
- The intent of this plat is to vacate the interior lot lines of Block K and a portion of Front Street while leaving a full right-of-way on adjoining streets. It also dedicates a portion of Front Street and Mission Street as a utility corridor. A subsequent field survey may alter these lines as necessary to match recovered monuments.
 - Data is based upon a best fit from record data, not recovered monuments. An extensive field survey was not completed, and no monuments were set. A complete retracement survey may result in different dimensions on the vacated area. It is the intent of this plat to vacate all existing right-of-way in the hatched area.
 - This property is in the Commercial zone.

CERTIFICATE OF BOROUGH ASSESSOR

I hereby certify that the applicants are not delinquent on property taxes for the property specified on the subdivision plat shown hereon.

Dated: 10-03-06
John L. Wines
Haines Borough Assessor

CERTIFICATE OF APPROVAL BY HAINES BOROUGH

Tlingit Park Vacation Plat Survey as described hereon has been found to comply with the provision set forth in HC Title 18 and is approved for recording.

Lee Heimiller 10/4/06
Lee Heimiller Date
Planning Commission Chair

Fred Shields 10/3/06
Fred Shields Date
Mayor, Haines Borough, Alaska

SURVEYORS CERTIFICATE

I certify that I am properly registered and licensed to practice Land Surveying in the State of Alaska, that this plat represents a survey made by me or under my direct supervision, that the monuments shown hereon exist as described, and that all dimensions and other details are correct.

Donald E. Mullikin
Date Registered Land Surveyor No. 4469



CERTIFICATE OF OWNERSHIP AND DEDICATION

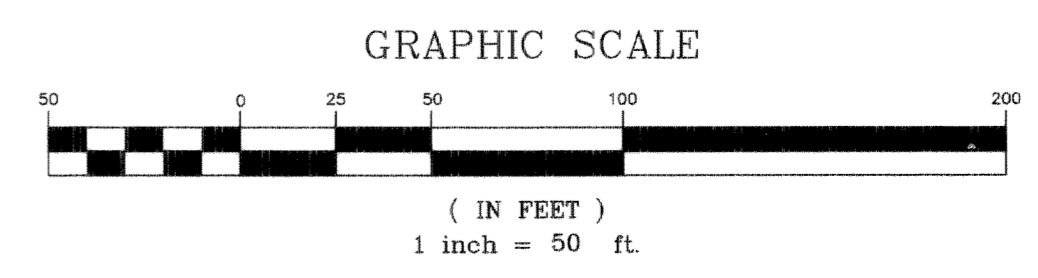
I hereby certify that Haines Borough, Alaska is the owner of the real property shown and described hereon and that it hereby adopts this plan of subdivision with its free consent, and dedicates all streets, alleys, walks, parks and other open spaces to public or private use as noted.

By: Fred Shields Date: 10/3/06
FRED SHIELDS
MAYOR, HAINES BOROUGH, ALASKA

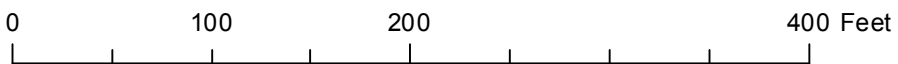
This is to certify that on this 3rd day of October, 2006, before me the undersigned, a notary public in and for the State of Alaska, duly commissioned and sworn, personally appeared: Fred Shields, known to me to be the person described in and who executed the above and foregoing instrument, and acknowledged to me that he signed and sealed the same freely and voluntarily for the uses and purposes therein mentioned.

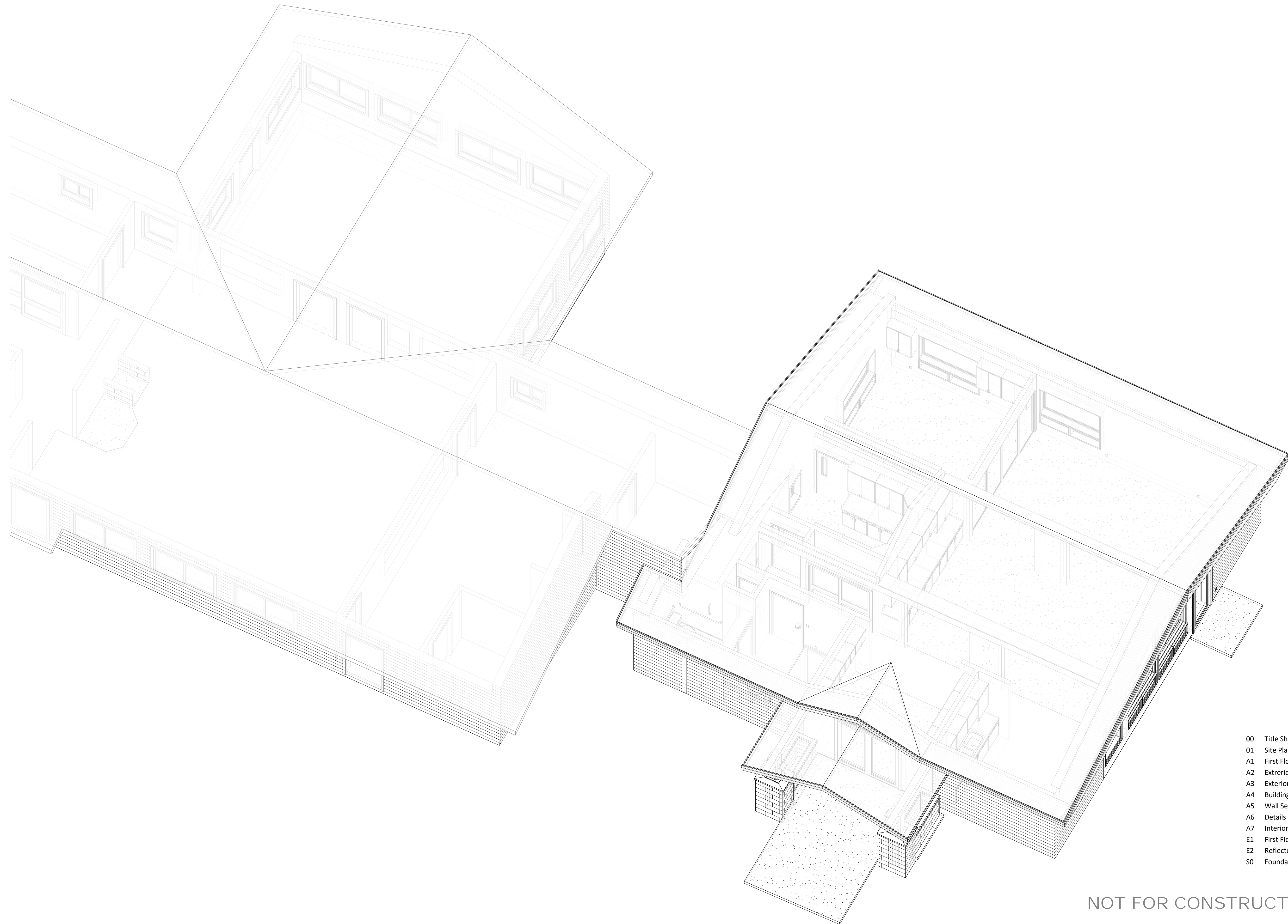
Julie Caspi
Notary Public in and for the State of Alaska
My Commission Expires: 1-29-2008

2006-16
Haines REC DIST
DATE: 10/6/2006
TIME: 1:07 P.M.
Requested By: Haines Borough
Address: _____



TLINGIT PARK VACATION PLAT	
Vacating a portion of Front Street and a portion of the lot lines of Block K, and Tract A-6, Presbyterian Mission Plat in U.S. Survey No. 735 2nd Addition, and dedicating a portion of Front and Mission Streets as a utility corridor, all located in Sec. 34, T.30S., R.59E., C.R.M., Haines Recording District, Alaska within the City of Haines, Alaska Creating Lot 1	
SURVEYOR	CLIENT
MULLIKIN SURVEYS P.O. Box 790 Homer, AK 99603	HAINES BOROUGH P.O. Box 1209 Haines, AK 99827
Drawn By: TAL, GDS, TLM	Scale: 1" = 50'
Checked By: DEM/MF/JM	Field Book No: NA
Date: 5-6-06	File: Front Street Vacation.dwg
File No.:	





SHEET LIST

- 00 Title Sheet
- 01 Site Plan & General Notes
- A1 First Floor Plan
- A2 Exterior Elevations
- A3 Exterior Elevations
- A4 Building Sections
- A5 Wall Sections
- A6 Details & Roof Plan
- A7 Interior Elevations & Schedules
- E1 First Floor Electrical
- E2 Reflected Ceiling Plan
- S0 Foundation Plan

NOT FOR CONSTRUCTION



A. This project is under the jurisdiction of the Alaska Department of Public Safety, Division of Fire Protection and is subject to visitation and inspection by the building official and enforcement of the applicable codes.

B. All materials and workmanship shall comply with the best practices of the trades and with all applicable codes and regulations including, but not limited to, the International Building, Fire, Plumbing, and Mechanical Codes and the National Electrical Code as adopted by The Haines Borough, concerning minimum requirements. These drawings shall govern where the minimum requirements are shown to have been exceeded. In the event of conflict between these drawings and the applicable codes and regulations, the latter shall prevail.

C. Contractor to verify all relevant existing conditions prior to offering bid or commencing work. All existing conditions at variance with drawings and notes to be brought to the attention of the owner immediately.

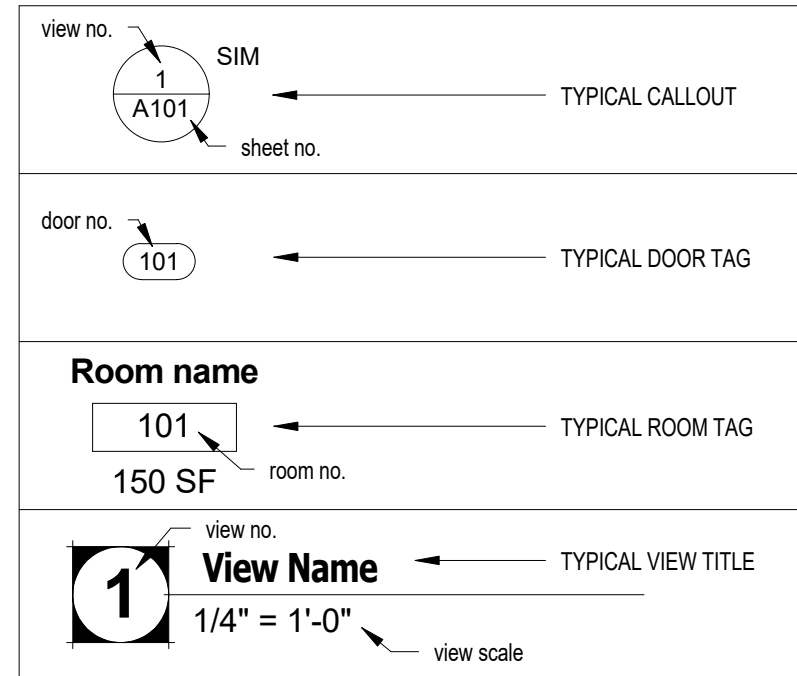
D. The drawings are partially diagrammatic in nature and do not purport to show every item required. All labor and materials required for a complete project in accordance with the intent of the drawings and specifications shall be provided, whether specifically called out or not. Contractor is responsible for information that pertains to the means, methods, techniques, sequences, and procedures of construction and for the coordination of the work of all trades.

E. Any changes to the construction documents shall be recorded on a set of documents marked 'As-built Record Set' and turned into the owner at the completion of the work.

F. Provide shop drawings for shop fabricated items to the Owner's representative for approval prior to fabrication.

G. Dispose of concrete and all construction debris in approved manner and location.

H. All wood in contact with concrete or ground or within 6" of ground to be preservative treated. Brush-treat all cut ends with wood preservative.



Symbol Legend

Code Study
Preschool Addition: E occupancy, type VB construction.
Existing Senior Center: A2 occupancy, type VB construction.
There are no additional fire rating requirements between the two occupancies.
Gross areas are 1400 SF and 2850 SF respectively. The combined area is within allowable limits for a one story building.
There are no separation distance issues with the position of the building on the site

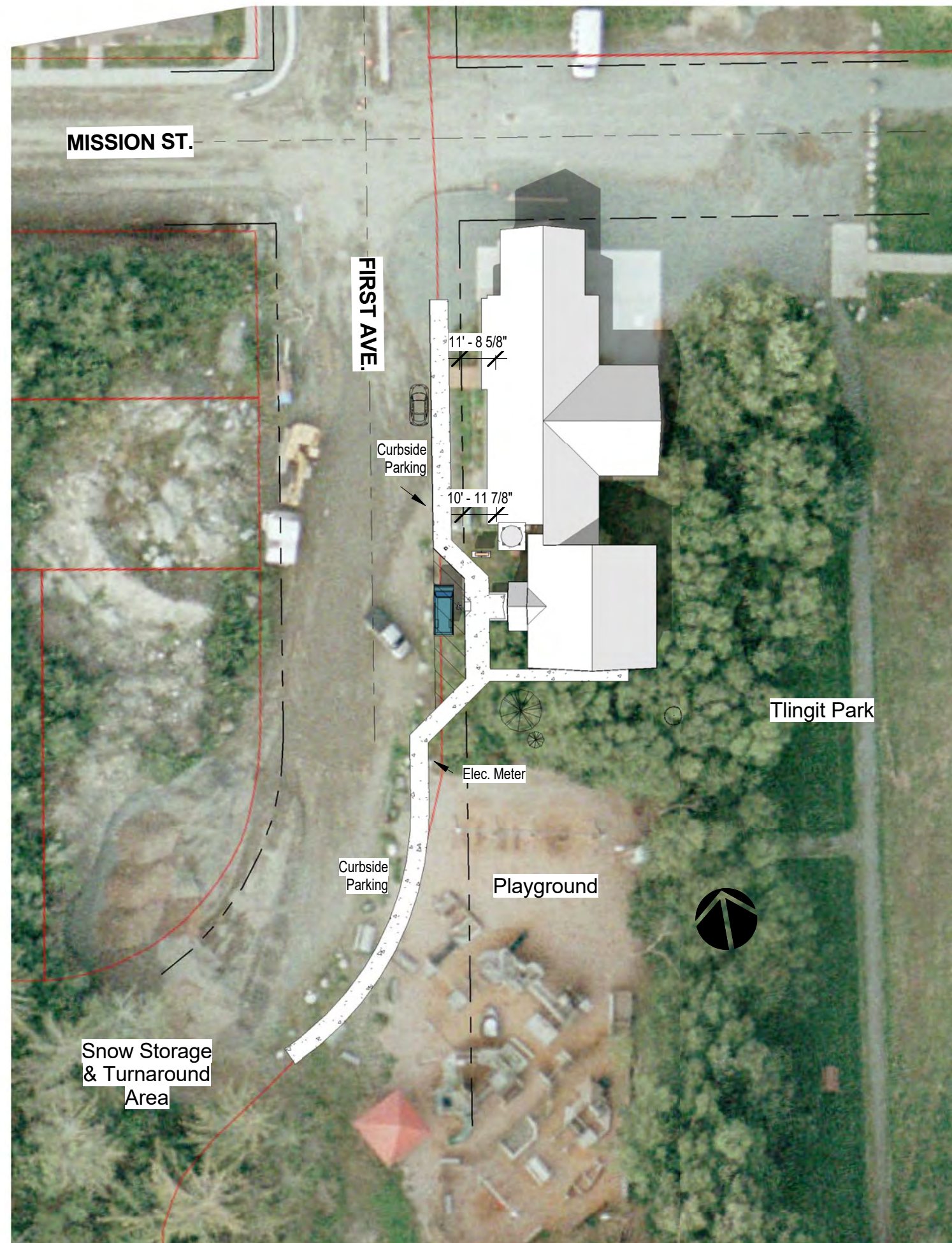
Net Occupant Load, Preschool Addition:
Multi-Use & Quiet = 48.70 (974 SF / 20)
Office = 00.45 (91 SF / 200)
Total Net Occupant Load = 49.15

General Notes

Code Study

AB	Anchor Bolt(s)	FRAM	Framing	PRES	Pressure
ACT	Acoustical Tile	FT	Foot or Feet	PT	Pressure Treated
AFF	Above Finish Floor	FURR	Furring	PRTN	Partition
ALUM	Aluminum	GA	Galvanized	PVC	Poly Vinyl Chloride
ARCH	Architectural	GALV	Galvanized	QT	Quarry Tile
BD	Board	GB	Grab Bar	R	Riser(s)
BITUM	Bituminous	GLZ	Glass or Glazing	RAD	Radius
BLDG	Building	GRD	Grade	RD	Roof Drain
BO	Bottom of	GYP	Gypsum	REF	Reference
CB	Catch Basin	H	High	REFR	Refrigerator
CI	Cast Iron	HB	Hose Bib	REINF	Reinforced
CLG	Ceiling	HDWD	Hardwood	REQD	Required
CLR	Clear	HM	Hollow Metal	RESL	Resilient
COL	Column	ID	Inside Diameter	REG	Register
CONCR	Concrete	INSUL	Insulation	RM	Room
CORR	Corridor	JAN	Janitor	RO	Rough Opening
CRPT	Carpet	LAM	Laminate or Laminations	SCHED	Schedule
DEPT	Department	LAV	Lavatory	SIM	Similar
DTL	Detail	LT	Light	SPEC	Specification(s)
DIA	Diameter	MAX	Maximum	STC	Sound Transmission Class
DIM	Dimension	MECH	Mechanical	STD	Standard
DN	Down	MIN	Minimum	STL	Steel
DS	Downspout	MISC	Miscellaneous	STRUC	Structural
DWG	Drawing	MTL	Metal	SS	Stainless Steel
EA	Each	MULL	Mullion	TO	Top of
EL	Elevation	N	North	TEL	Telephone
ELEC	Electrical	NIC	Not in Contract	TS	Tube Steel
ELEV	Elevator	NO	Number	TV	Television
EP	Electrical Panel	NOM	Nominal	TYP	Typical
EQ	Equal	NTS	Not To Scale	UON	Unless Otherwise Noted
EQPMT	Equipment	OA	Overall	VEST	Vestibule
EXIST	Existing	OBS	Obscure	WC	Water Closet
EXT	Exterior	OC	On Center	WD	Wood
FA	Fire Alarm	OD	Outside Diameter	WP	Waterproof
FD	Floor Drain	OFF	Office	WT	Weight
FE	Fire Extinguisher	OPNG	Opening		
FF	Finish to Finish	OPP	Opposite		
FHC	Fire Hose Cabinet	OSB	Oriented Strand Board		
FIN	Finish	PL	Plate		
FL	Floor	PLAS	Plastic		
FCC	Face of Concrete	PLY	Plywood		
FOF	Face of Finish	PR	Pair		
FOS	Face of Stud	PRCST	Pre-cast		

Abbreviations

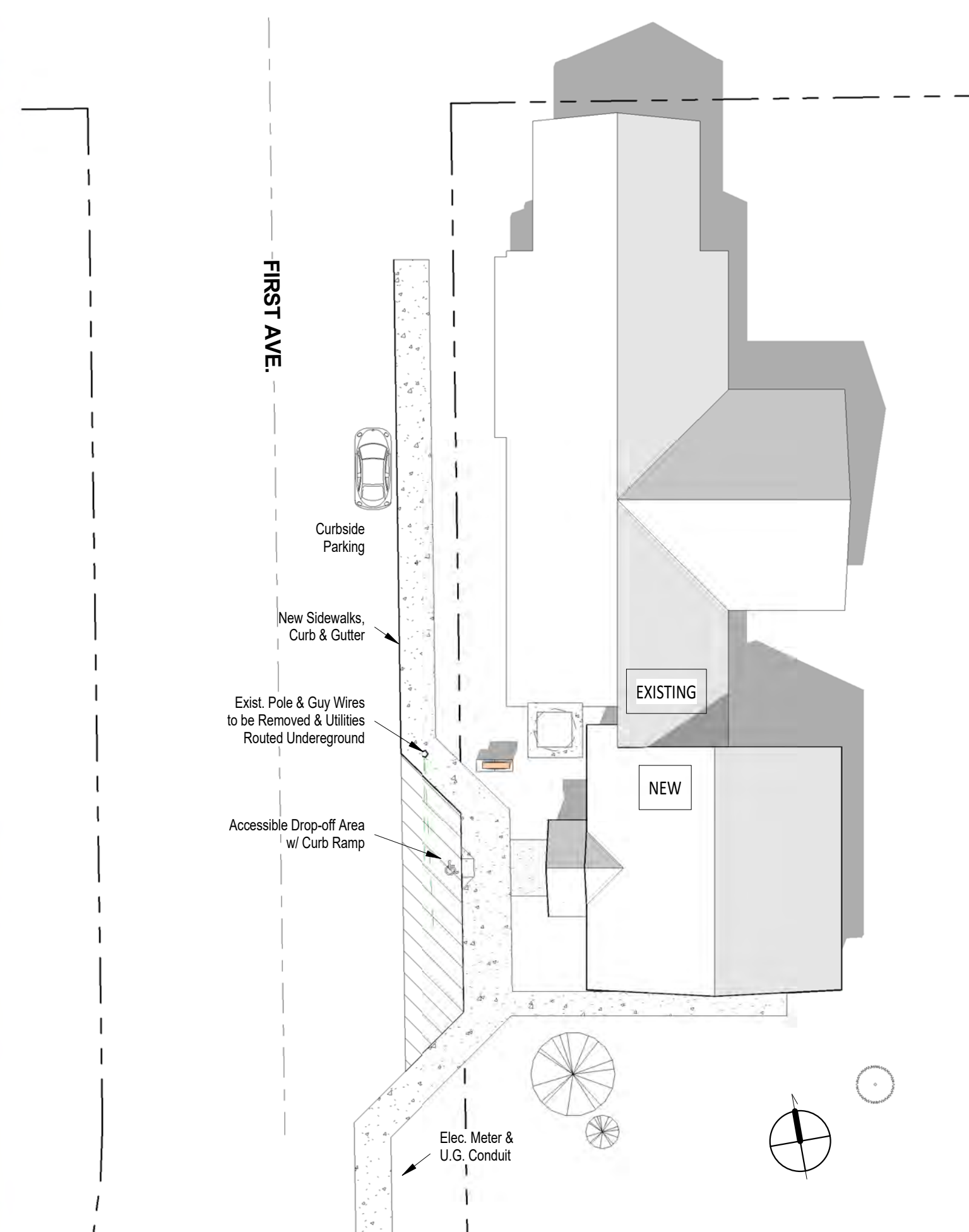


2 Area Plan
1" = 40'-0"

Notes

- Reference Plats: Haines Borough 2006-16 and Haines Senior Center As-Built Survey, 1993
- Curbs, gutters and sidewalks depicted along First Avenue are intended to show egress routes and to meet ADAAG guidelines for this type of building but are not part of this contract
- In order to meet the requirements of #2 above, the existing utility pole and guy wires at the street must be removed and/or relocated but doing so is not part of this contract
- It is recommended that power and telephone lines for existing and new construction be routed underground, in keeping with the recreational nature of this location. Contractors are advised to verify and coordinate service installation with The Haines Borough
- At the request of Haines Senior Center staff and patrons, trees are to be removed only as necessary for the completion of this contract
- Prior to preparing site, perform a soils test for engineering of the building pad and site drainage and submit the results to The Haines Borough

Specific Notes, Site



1 Site Plan
1" = 20'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS



Preschool Addition
Chilkat Valley Preschool
Enter address here

No.	Description	Date

COPYRIGHT PROTECTED CONTENT:
PROPRIETARY DESIGN AND DETAILS

Site Plan & General Notes	
SCALE	As indicated
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016



Preschool Addition

Chilkat Valley Preschool

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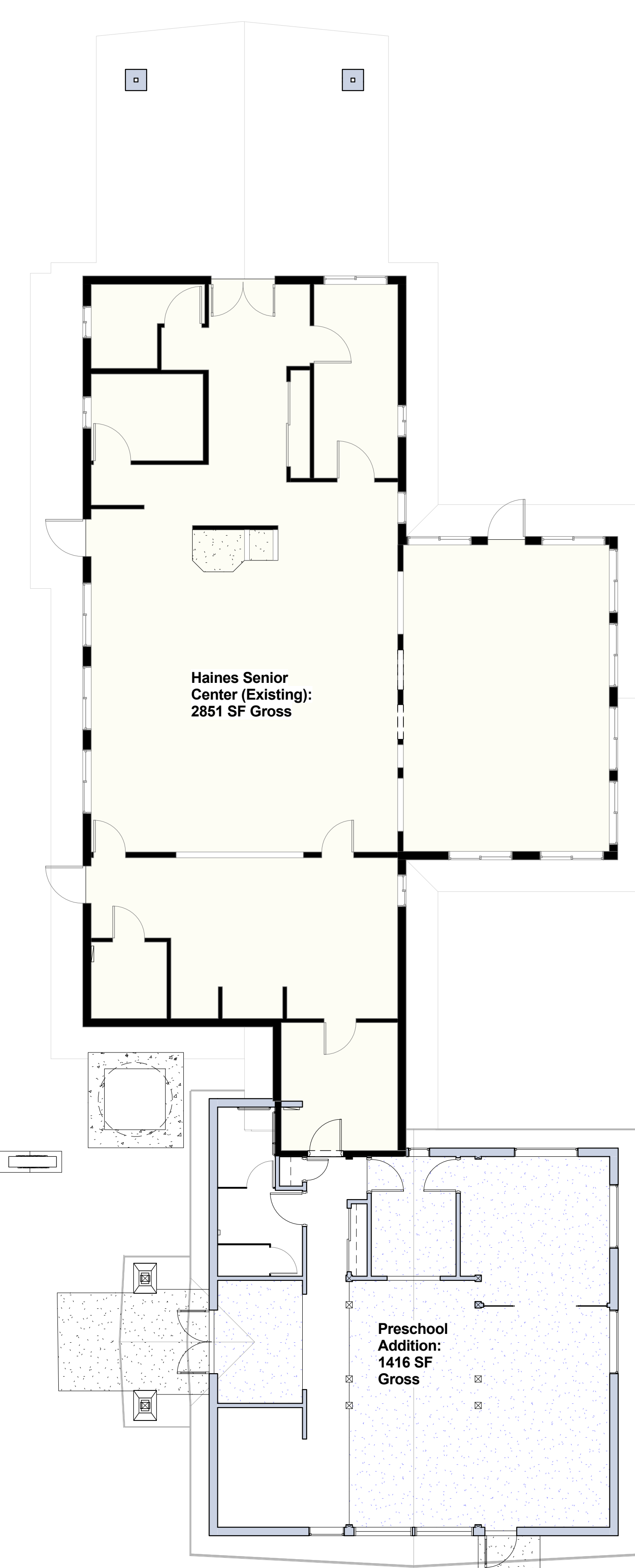
No.	Description	Date

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PROPRIETARY DESIGN AND DETAILS

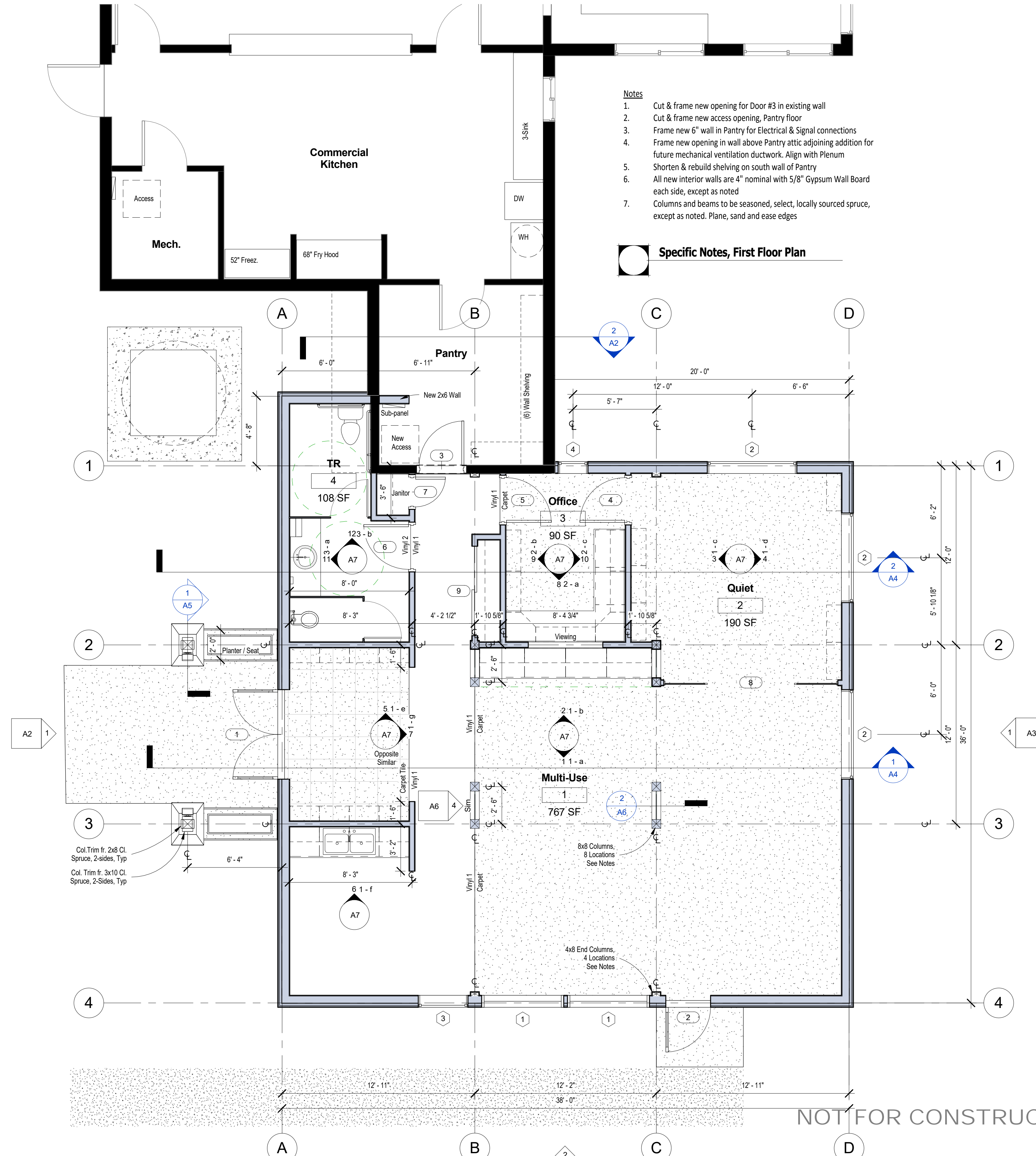
First Floor Plan

SCALE	As indicated
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

A1



2 First Floor Combined
1/8" = 1'-0"



- Notes**
- Cut & frame new opening for Door #3 in existing wall
 - Cut & frame new access opening, Pantry floor
 - Frame new 6" wall in Pantry for Electrical & Signal connections
 - Frame new opening in wall above Pantry attic adjoining addition for future mechanical ventilation ductwork. Align with Plenum
 - Shorten & rebuild shelving on south wall of Pantry
 - All new interior walls are 4" nominal with 5/8" Gypsum Wall Board each side, except as noted
 - Columns and beams to be seasoned, select, locally sourced spruce, except as noted. Plane, sand and ease edges

Specific Notes, First Floor Plan

1 First Floor Addition
1/4" = 1'-0"

NOT FOR CONSTRUCTION

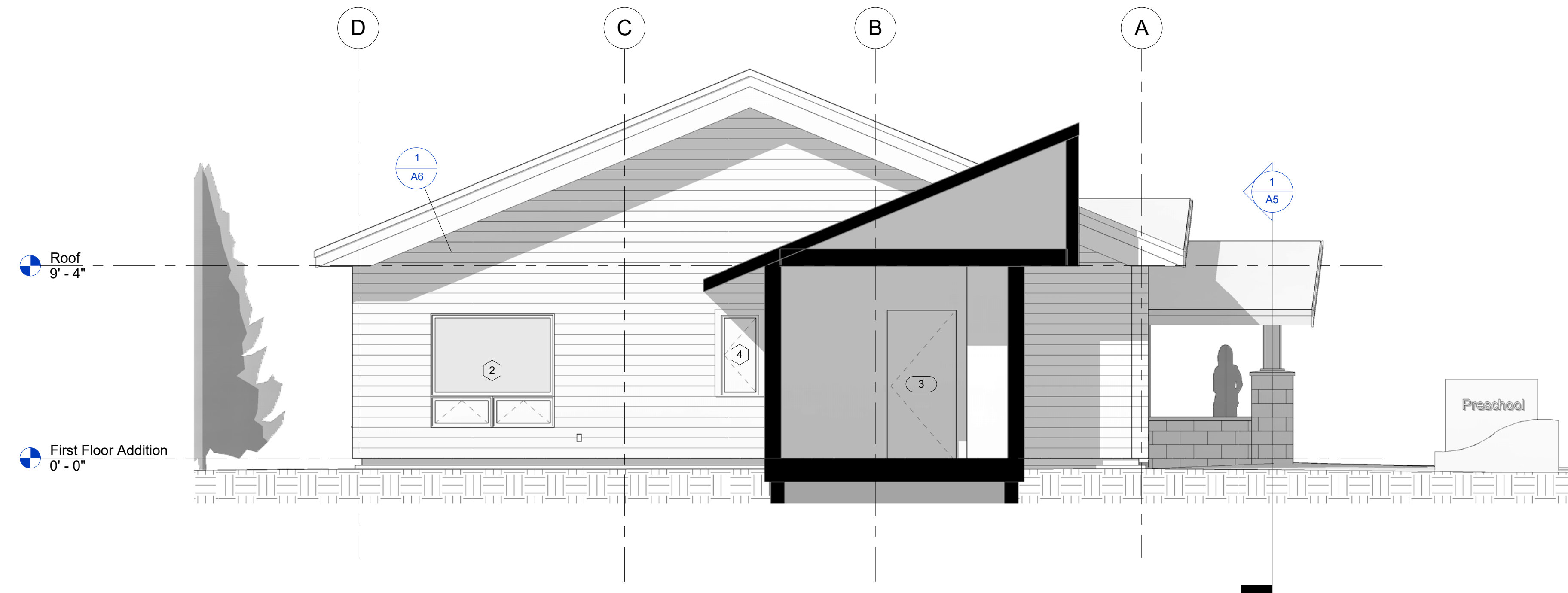
HALF SCALE FOR 11" X 17" SHEETS



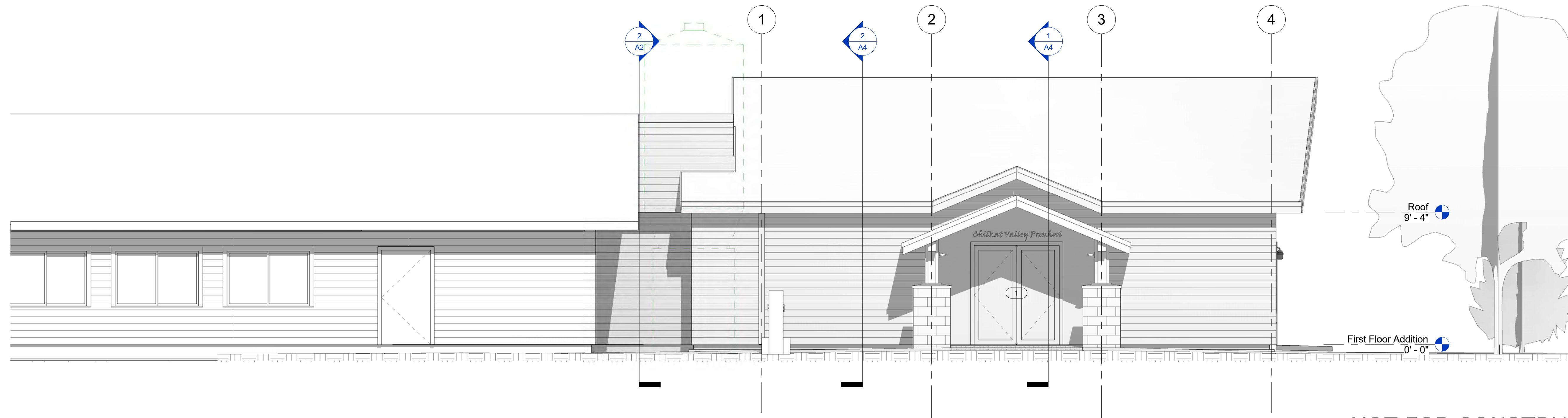
Notes

- 1. more stuff

Specific Notes, Exterior



2 Section - Elevation North
1/4" = 1'-0"



1 West
1/4" = 1'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS

Preschool Addition

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No.	Description	Date

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Exterior Elevations

SCALE 1/4" = 1'-0"

PROJECT NO. 0506

DRAWN LWL

PROJECT STATUS 95%

DATE June, 2016

A2



Preschool Addition

Chikkat Valley Preschool

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No.	Description	Date

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Exterior Elevations

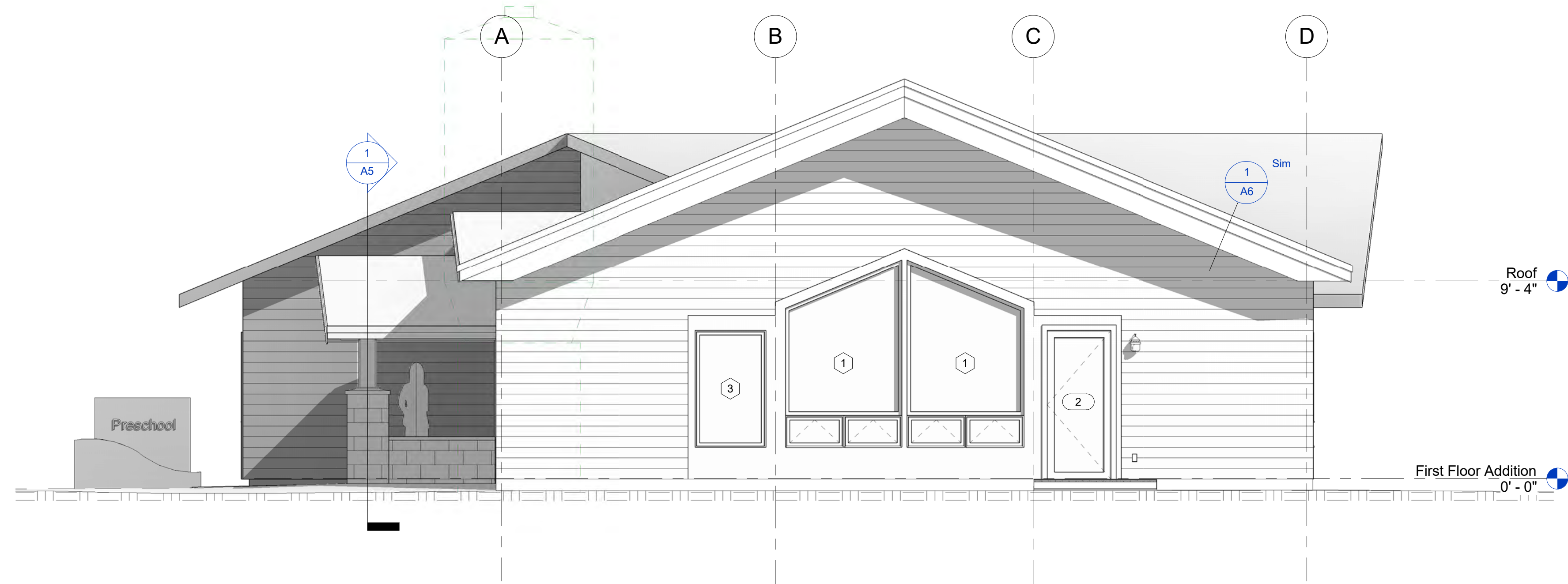
SCALE 1/4" = 1'-0"

PROJECT NO. 0506

DRAWN LWL

PROJECT STATUS 95%

DATE June, 2016

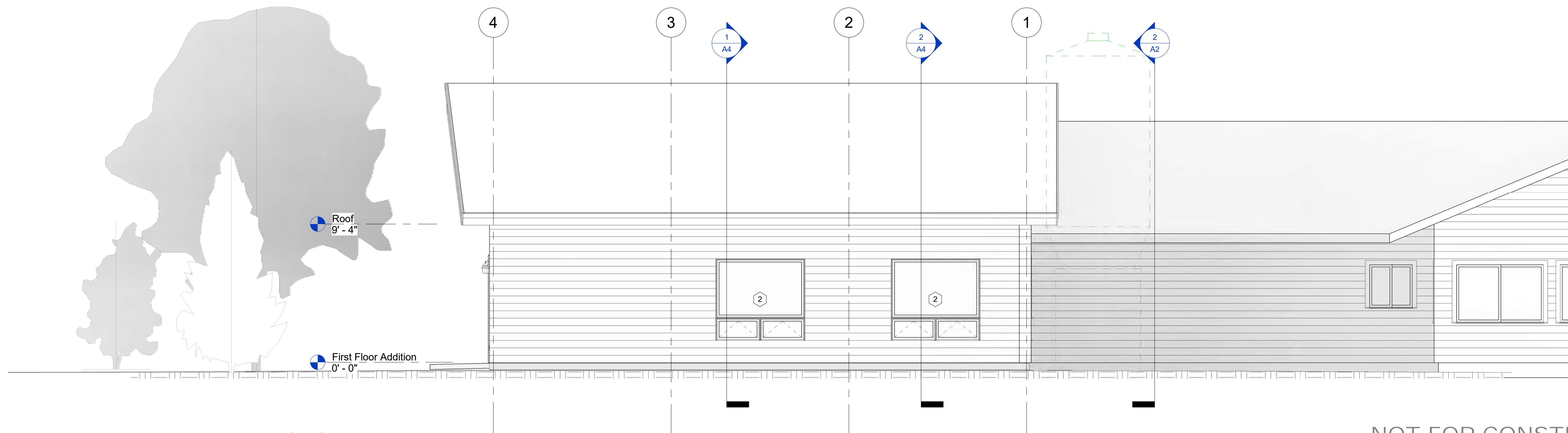


2 South
1/4" = 1'-0"

Specific Notes, Exterior

Notes

- 1. more stuff



1 East
1/4" = 1'-0"

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HALF SCALE FOR 11" X 17" SHEETS

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Preschool Addition
Chikkat Valley Preschool
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No.	Description	Date

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Building Sections

SCALE	As indicated
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

DESIGN LOADS	P.S.F.	
	LIVE LOAD	DEAD LOAD
FLOOR	40	15
ROOF	80	12
MECHANICAL FLOORS	75	15
STAIRS & CORRIDORS	100	

2006 I.B.C. CRITERIA FOR THIS LOCALE:

EXPOSURE:	MODERATE
WIND (S.E.C. GUST):	100 M.P.H.
SEISMIC CATEGORY:	DO
DESIGN SOIL PRESSURE:	2000 PSF MAX. DEAD + LIVE LOAD
FOOTING/ FROST DEPTH:	MIN. 2'-6" BELOW FIN. GRADE

REINFORCED CONCRETE

FOOTINGS & STEMWALLS:
Concrete Min. 2500 PSI (28 Day Compression Strength).
Provide Water-Reducer and Air-Entrainment Admixtures.

FLOOR SLABS:
Concrete Min. 3000 PSI (28 Day Compression Strength).
4-7% Air Entrainment, 1" to 3" Slump.
Protect from temperatures below 40 degrees Fahrenheit, for 2 Weeks following pour.

REINFORCING STEEL:
Reinforcing Steel shall conform to ASTM A615, Grade 60,
Unless Otherwise Noted. Lap Bars with Class B Splice.

WELDED WIRE FABRIC:
Welded Wire Fabric shall conform to ASTM A185. Furnish in Flat
Sheets. Lap Edges Min. 1-1/2 Mesh Dimension.

CONCRETE COVER:
Footings & Stemwalls, 3"; Slabs, 1-1/2"

FOOTING REINFORCEMENT:
In Wall Footings, provide (2) #5 Longitudinal Bottom Bars and Corner
Bars of same size and number at Corners and Intersections.

GROUT:
Grout Min. 5000 PSI, 7 Day Cube Strength per ASTM C109.
Provide Premixed, Non-Shrink Grout with ICBO Certification.

ANCHOR BOLTS:
Anchor Bolts to be ASTM A307, Hot-Dipped Galvanized. Set
Anchor Bolts by Template. See Wall Bracing.

STRUCTURAL STEEL

All Steel ASTM A36. Fabrication per AISC Specifications. Submit Shop
Drawings.

Welding per AWS D1.1. Minimum size welds 3/16" continuous fillet.

Bolts per ASTM A307.

GLUE-LAMINATED TIMBER

BEAMS & GIRDERS: Visually Graded Western Species, Combination
24F-V8, unless otherwise noted. Camber Floor Beams and Roof Beams
L500 at mid-span.

COLUMNS: Visually Graded Western Species, Combination 5, U.O.N.

Fabricate all glu-lam timber per ANSI/AITC A190.1. Wet-use adhesives.
Max 15% Moisture Content. Appearance: Architectural Grade, U.O.N.
Use mild steel plate washers at all bolt heads and nuts bearing on wood.
Treat wood bearing on or within 1" of concrete or masonry with wood
preservative.

STRUCTURAL SAWN LUMBER

Lumber for structural framing to be No. 2 Hem-Fir grade or better.
Moisture content in 2x lumber thickness or less, 20% Maximum.

FASTENERS

Adhere to I.B.C. Section 2308 for Conventional Construction Provisions
and to Table 2304.9.1 for Fastener Spacing. Use mild steel plate washers
at all bolt heads and nuts bearing on wood.

Flashing, sheet-metal, and wood fasteners exposed to ground, concrete, or
weather to be stainless steel or hot-dip galvanized.

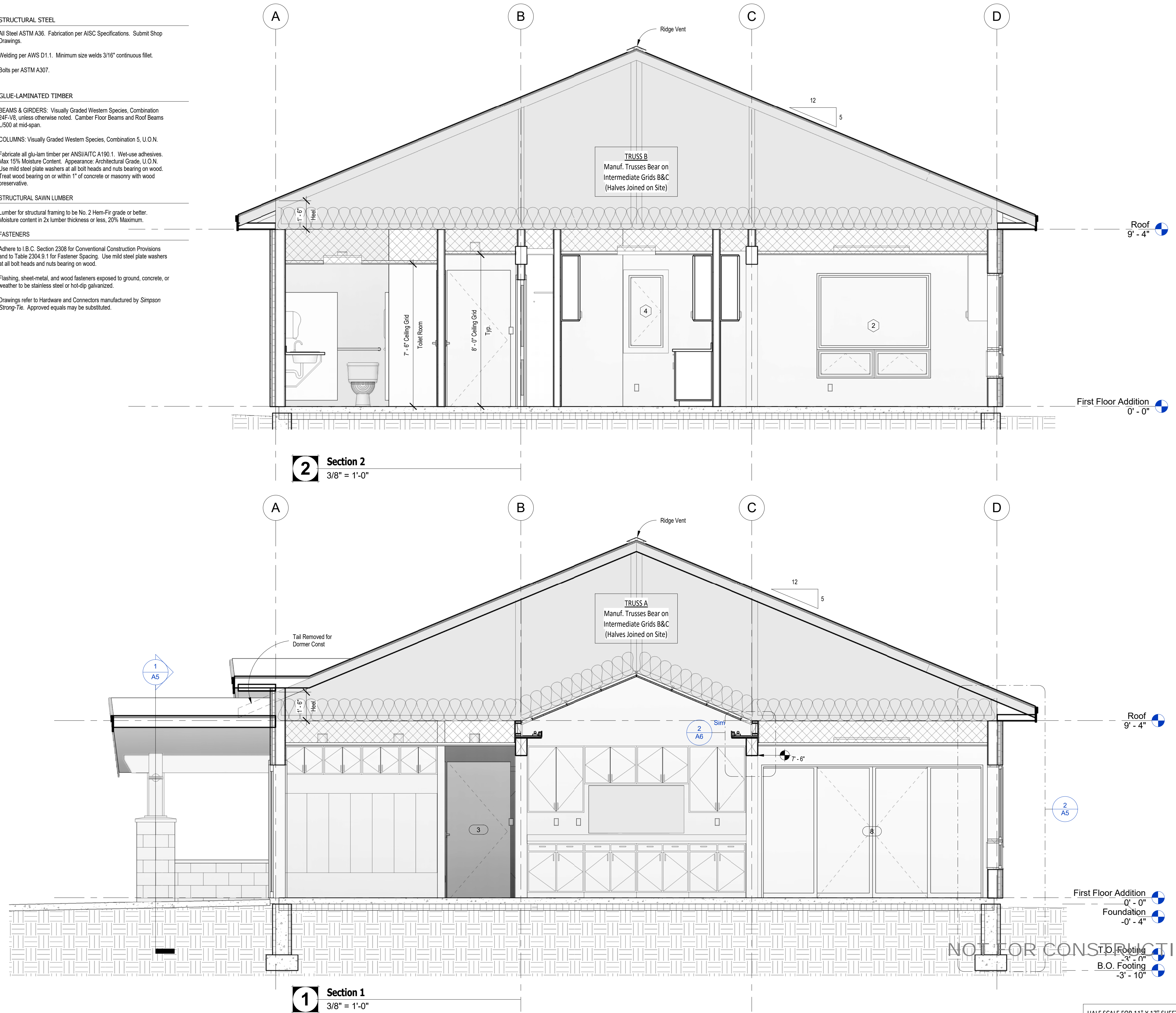
Drawings refer to Hardware and Connectors manufactured by Simpson
Strong-Tie. Approved equals may be substituted.

General Structural Notes

Notes

1. more stuff

Specific Notes, Sections



NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS



Preschool Addition

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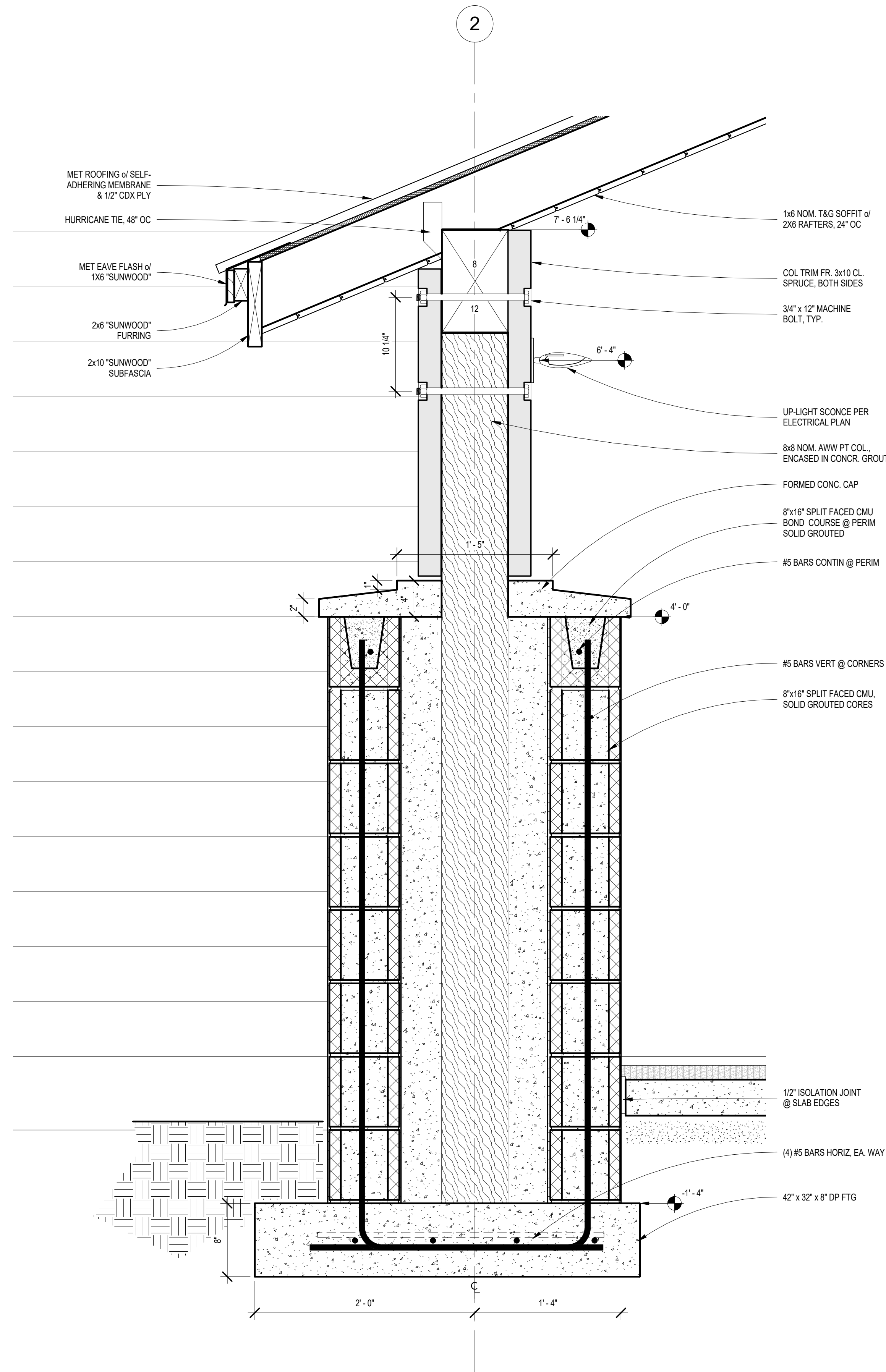
No.	Description	Date

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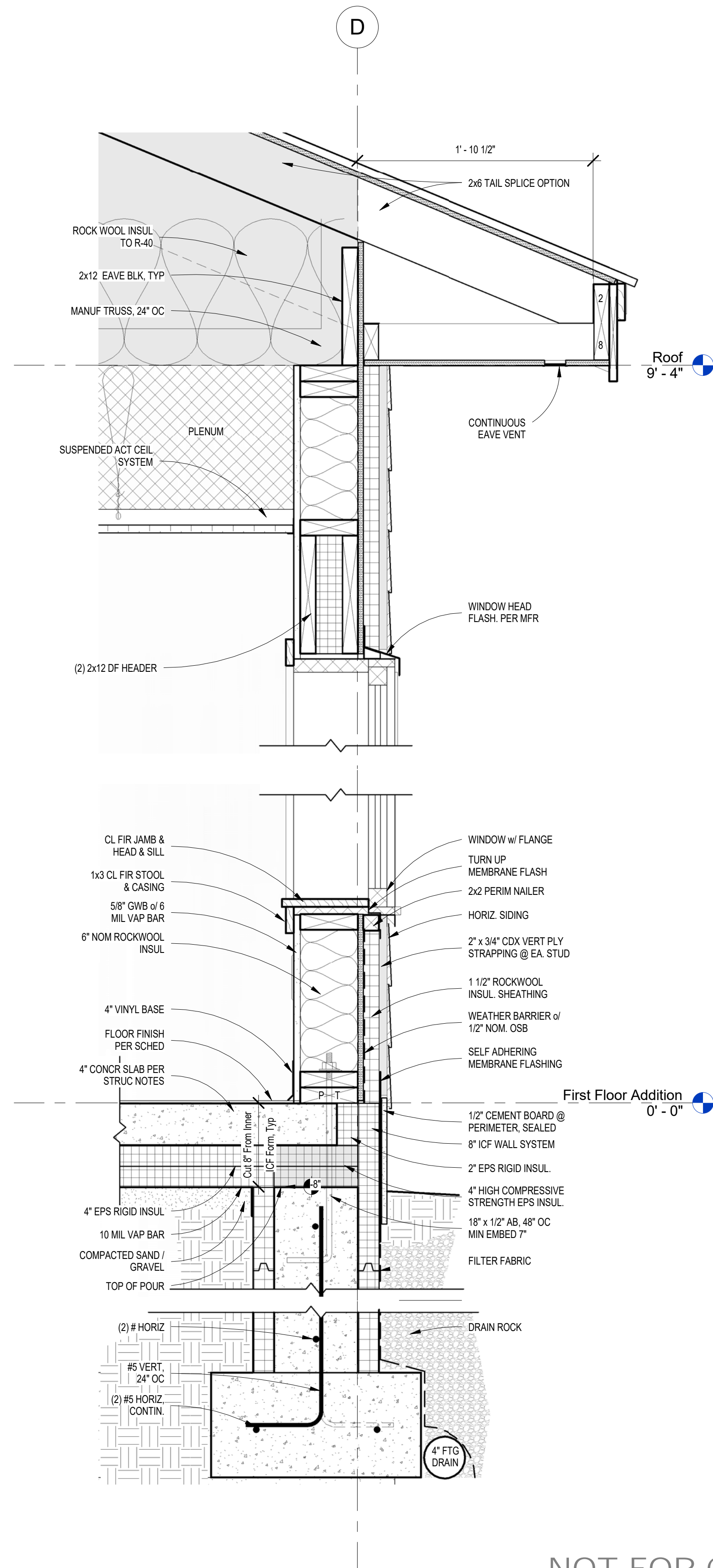
Wall Sections

SCALE	1 1/2" = 1'-0"
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

A5



1 Section @ Porch Column
1 1/2" = 1'-0"



2 Typ. Wall Section_E-W
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS



Preschool Addition

Chilkat Valley Preschool

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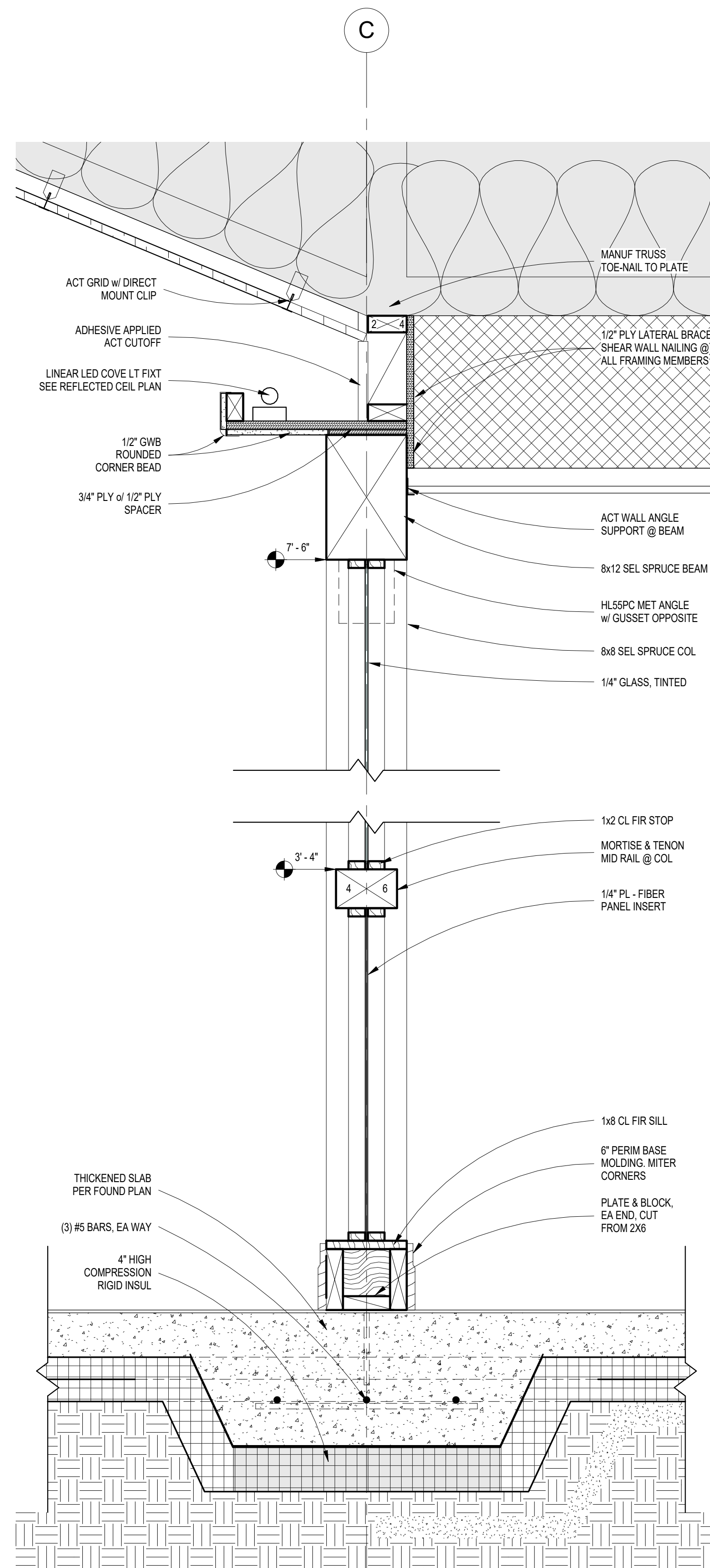
No.	Description	Date

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PROPRIETARY DESIGN AND DETAILS

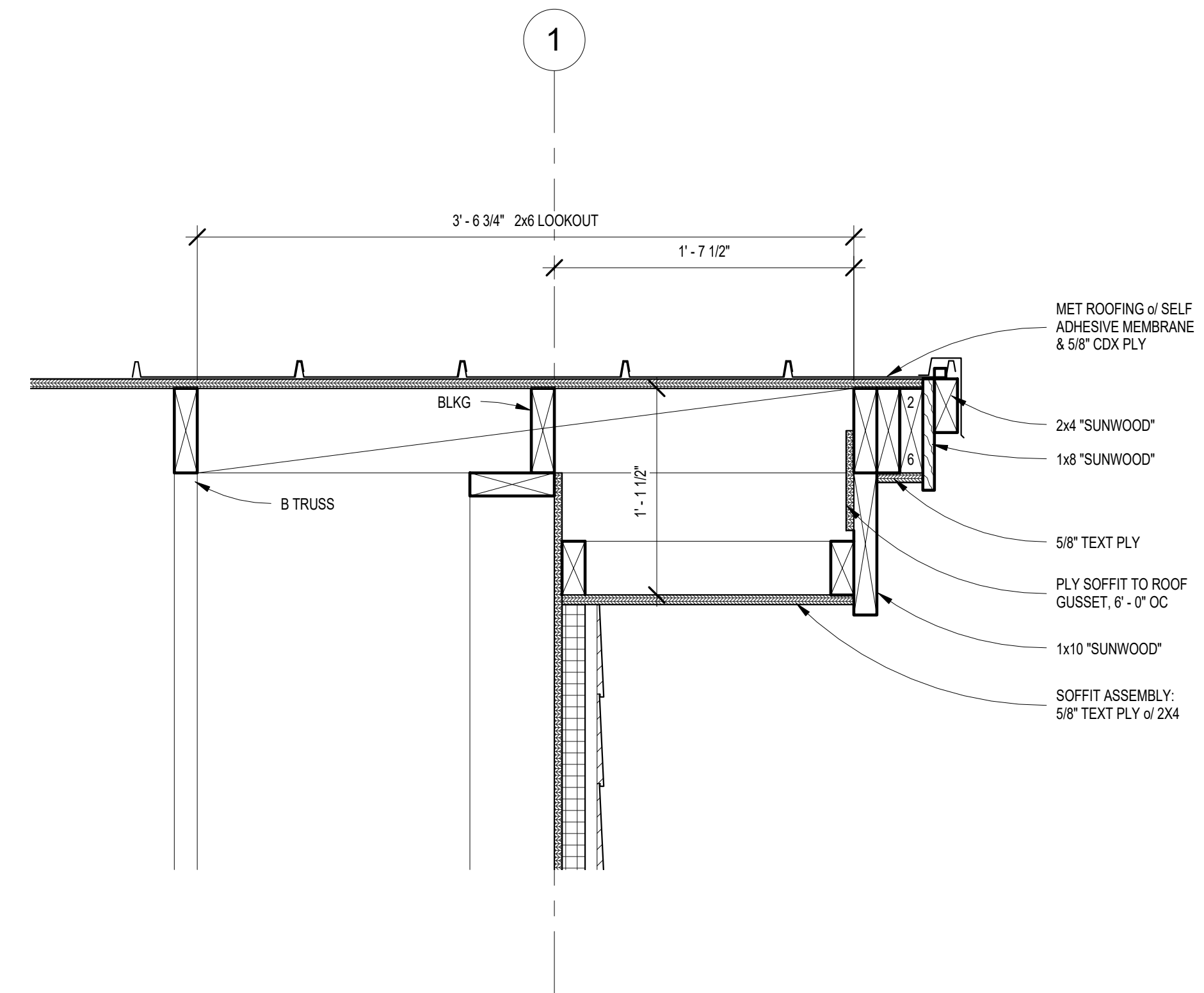
Details & Roof Plan

SCALE	As indicated
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

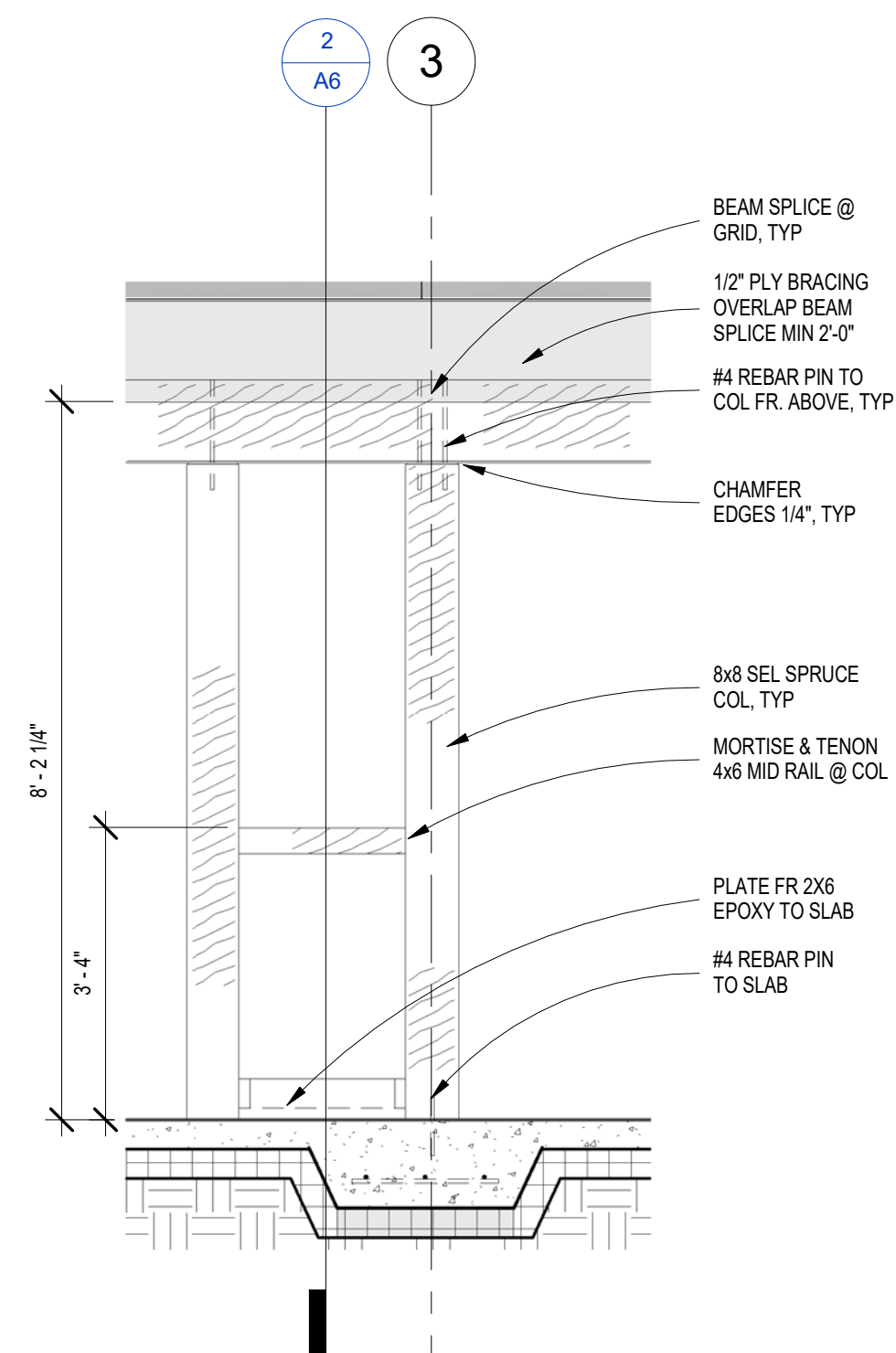
A6



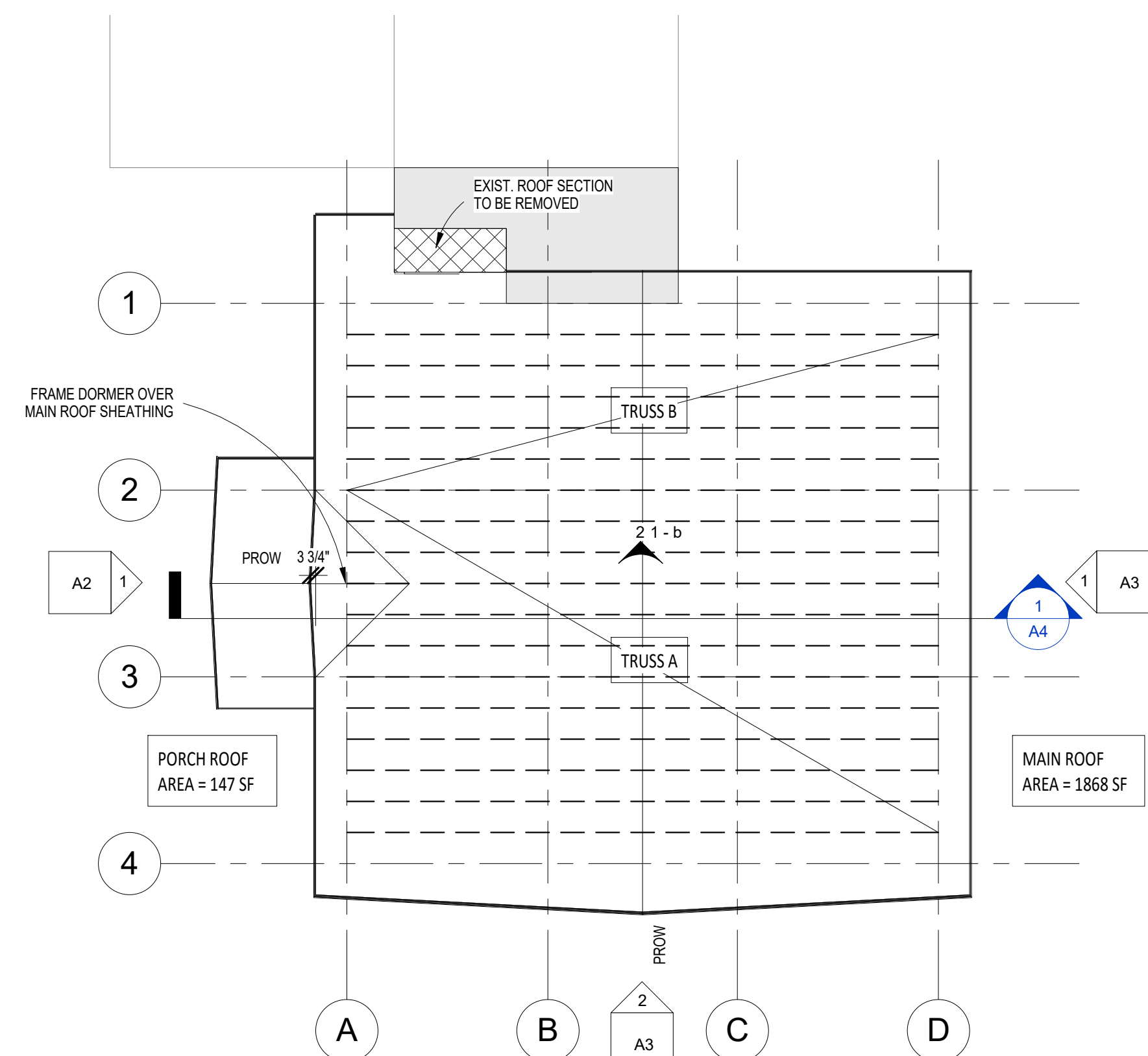
2 Typ Relite Section
1 1/2" = 1'-0"



1 RAKE DTL
1 1/2" = 1'-0"



4 Framing Dtl @ Col
1/2" = 1'-0"



3 Roof
1/8" = 1'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS



Preschool Addition

Chilkat Valley Preschool

Enter address here

No.	Description	Date

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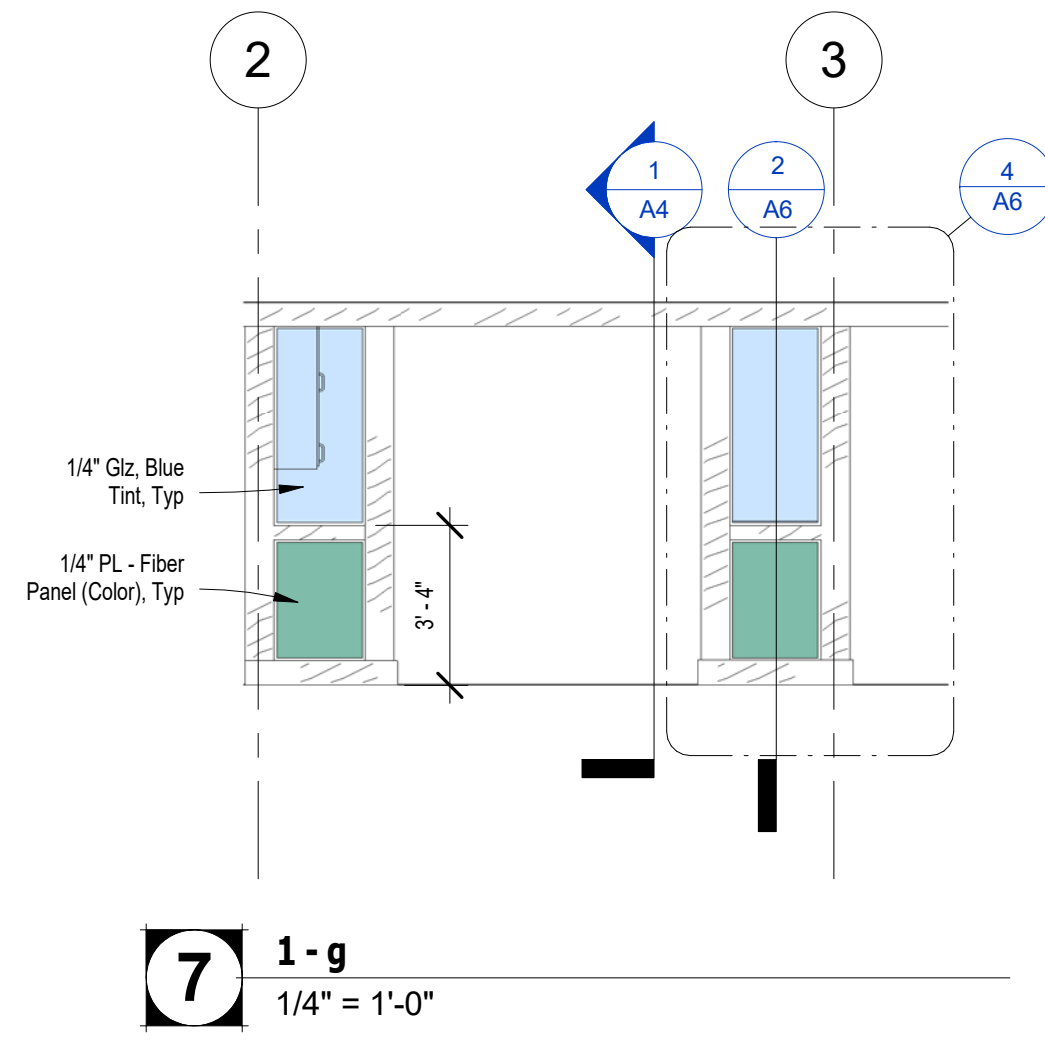
Interior Elevations & Schedules

SCALE	1/4" = 1'-0"
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

A7

Door No.	Family	Type	Manufacturer	Model	Description	Frame Type	Hardware	Finish		URL
								Door	Frame	
1	Double-Glass 1	72" x 84"	Marvin	Commercial	Standard Specifications w/ Commercial Hardware Package	Clad Wood	Commercial Lever-action Entrance Lockset, Keyed Alike; brushed nickel	CVG Doug. Fir Both Sides	NA	Options: Potter Casing; Closers; Kick Plate http://www.marvin.com/marvin/doors/commercial
2	Single-Glass 1	36" x 84"	Marvin	Commercial	Standard Specifications w/ Commercial Hardware Package	Clad Wood	Commercial Lever-action Entrance Lockset, Keyed Alike; brushed nickel	Clad "Copper"	NA	Options: Closer; Kick Plate http://www.marvin.com/marvin/doors/commercial
3	HM FRAME - SINGLE W PARAMETRIC LITE	3'-0" x 7'-0" Wood_5_3/4" x 2" Narrow Lite			Generic CVG Solid Core Door	6 3/4" Knock-down Drywall	Commercial Lever-action Passage; brushed nickel	Prefinished	Paint	
4	HM FRAME - SINGLE W PARAMETRIC LITE	3'-0" x 7'-0" Wood_5_3/4" x 2" Narrow Lite			Generic CVG Solid Core Door	4 3/4" Knock-down Drywall	Commercial Lever-action Passage; brushed nickel	Prefinished	Paint	
5	HM FRAME - SINGLE W PARAMETRIC LITE	3'-0" x 7'-0" Wood_5_3/4" x 2" Narrow Lite			Generic CVG Solid Core Door	4 3/4" Knock-down Drywall	Commercial Lever-action Passage; brushed nickel	Prefinished	Paint	
6	HM_Frame_Door_-_Interior_Single_3897	3'-0" x 7'-0" Wood_5_7/5" x 2"			Generic CVG Solid Core Door	4 3/4" Knock-down Drywall	Commercial Lever-action Passage; brushed nickel	Paint	Paint	
7	HM_Frame_Door_-_Interior_Single_3897	2'-0" x 7'-0" Wood_5_7/5" x 2"			Generic CVG Solid Core Door	4 3/4" Knock-down Drywall	Commercial Lever-action Passage; brushed nickel	Prefinished	Paint	
8	Four_Panel_Sliding_door_11160	4 panel sliding door 4.40	Modernus	Exit 4	11" - 8" Wide; 15 3/4" glass, wood or painted panels; 1 3/4" Th.	4" Wood	Recessed Pull Handle	Clear Finish	Clear Finish	Customizable Opening Size & Glass Options Available http://www.modernus.com/product/exit-04/
9	Sliding-Closet	72" x 80"			Generic Melamine Faced Hollow Core Door Panels	1x Hem-Fir & Casing	Standard Bi-pass	Paint	Paint	

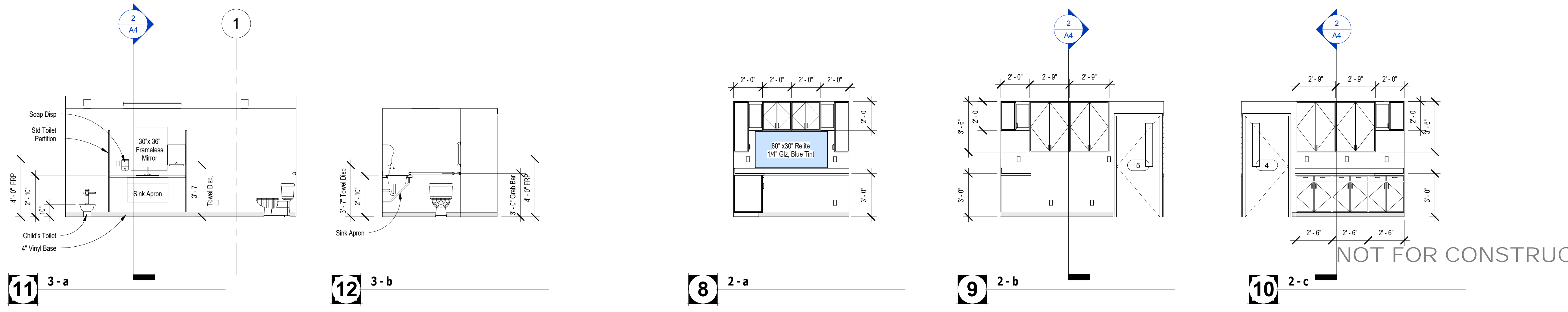
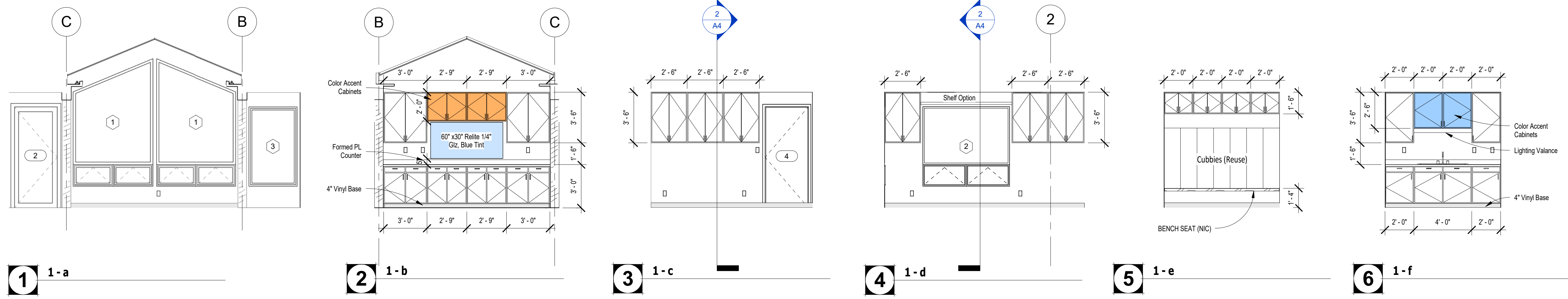
Mark	Description	Width	Height	Family and Type	Manufacturer	Model	Glass	Material	Comments
1a	Mulled Assembly 5:12	5'-6"	7'-4"	fixed_trapezoidal_awnings under: 66" x 18" + 88" Mullid	Milgard	Style Line	3/16" Th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
1b	Mulled Assembly 5:12	2'-9"	1'-6"	Awning with Trim: 18" x 33" Thin	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
2a	Mulled Assembly 5:12	5'-6"	7'-4"	fixed_trapezoidal_awnings under: 66" x 18" + 88" Mullid	Milgard	Style Line	3/16" Th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
2b	Mulled Assembly 5:12	2'-9"	1'-6"	Awning with Trim: 18" x 33" Thin	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
3a	Mulled Assembly	6'-0"	4'-0"	Fixed-Awnings under: 72" x 48"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
3b	Mulled Assembly	3'-0"	1'-6"	Awning without Trim: 36" x 18"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
4a	Mulled Assembly	6'-0"	4'-0"	Fixed-Awnings under: 72" x 48"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
4b	Mulled Assembly	3'-0"	1'-6"	Awning without Trim: 36" x 18"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
5a	Mulled Assembly	6'-0"	4'-0"	Fixed-Awnings under: 72" x 48"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
5b	Mulled Assembly	3'-0"	1'-6"	Awning without Trim: 36" x 18"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Mulled Assembly Sill Height = 1'-6"
6	Mulled Assembly	3'-4"	5'-6"	Fixed: 40" x 66"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Sill Height = 1'-6"
7	Mulled Assembly	2'-0"	4'-0"	Casement with Trim: 24" x 48"	Milgard	Style Line	1/8" th.	Standard White Vinyl	Sill Height = 1'-6"



Notes

- Interior wall finish is Paint on Gypsum Wall Board, except as noted
- Wood timbers & trim to receive a clear satin finish
- Cabinets are shown for location and suggested sizes. Consult with CVP staff for optimum cabinet configurations
- Cabinet fronts & doors are to be flush, gloss white, with accent colors on the same cabinet types where noted
- Resilient sheet flooring to be Armstrong commercial grade "Medley", colors H8672 (Vinyl 1) & H8628 (Vinyl 2). Provide samples
- Commercial carpet to be heathered, nylon level loop with pile density of 5000 or higher, medium to medium dark & no pattern. Provide samples

Specific Notes, Interior Finish



NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS

ELECTRICAL SYMBOLS KEY

- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE W/ MOUNTING HEIGHT
- QUAD RECEPTACLE
- RANGE OUTLET
- SPECIAL PURPOSE RECEPTACLE
- DUPLEX SPECIAL PURPOSE RECEPTACLE
- SPECIAL PURPOSE CONNECTION
- DISHWASHER RANGE HOOD
- RANGE HOOD
- ARC FAULT RECEPTACLE
- GROUND FAULT RECEPTACLE
- GROUND FAULT RECEPTACLE WITH WATERPROOF COVER
- SWITCH/ DUPLEX RECEPTACLE COMBINATION
- FLOOR DUPLEX RECEPTACLE
- JUNCTION BOX
- LOW VOLTAGE OUTLET
- SINGLE POLE WALL SWITCH
- THREE-WAY SWITCH
- WATER-PROOF SWITCH
- LOW VOLTAGE SWITCH
- TIME SWITCH
- REMOTE CONTROL SWITCH
- SWITCH & PILOT LAMP
- AUTOMATIC DOOR SWITCH
- CIRCUIT BREAKER

SIGNAL DEVICE SYM. KEY

- TV CABLE CONNECTION
- THERMOSTAT
- TELEPHONE CONNECTION
- DOOR CHIMES
- ELEC. DOOR OPENER & LIGHT
- SOUND SYSTEM
- PHOTO-ELEC. SW. W/ TIMER
- SMOKE DETECTOR
- MOTION DETECTOR

ABBREVIATIONS KEY

- AFI ARC FAULT INTERRUPTER
- GFI GROUND FAULT INTERRUPTER
- WP WEATHER PROOF
- AFG ABOVE FINISHED GRADE
- AFF ABOVE FINISHED FLOOR
- LV LOW VOLTAGE
- UON UNLESS OTHERWISE NOTED
- PE PHOTOELECTRIC
- C.O. CONDUIT ONLY
- DCP DIMMER CONTROL PANEL
- NS NOT SWITCHED

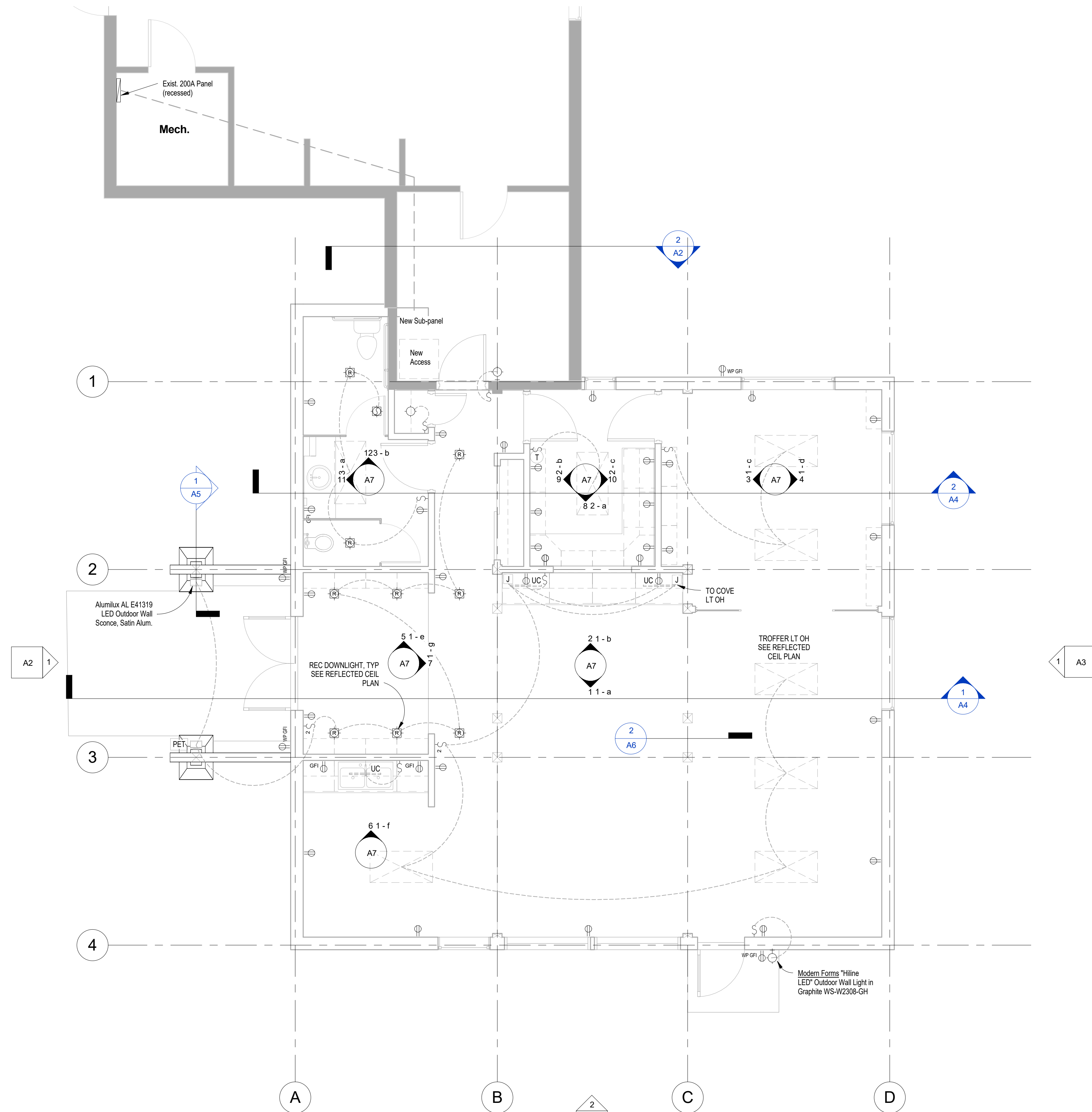
LIGHTING SYMBOLS KEY

- FLUSH MOUNT CEILING FIXTURE
- RECESSED FIXTURE
- WALL MOUNT FIXTURE
- RECESSED FAN ONLY
- REC. LIGHT/FAN COMB.
- SURFACE OR IN-LINE FAN
- STRIP LIGHT
- UNDER CABINET RECESSED OVERHEAD COVE LIGHT
- TRACK LIGHT FIXTURE
- PULL CHAIN FIXTURE
- SURFACE MOUNT FLUORESCENT FIXTURE

Electrical Symbol Key

1. Provide all work as shown on the drawings and described in these notes for a complete, safe and functional installation.
2. Unless otherwise noted, all material shall be of new manufacture and of the manufacturer's standard construction.
3. All material shall be approved by Underwriters Laboratories (UL) and so noted.
4. All work shall comply with the latest approved editions of: The National Electrical Code (NEC), The National Fire Protection Association Codes (NFPA);
5. The International Building Code (IBC); American with Disabilities Act (ADA); All applicable Federal, State and Local regulations.
6. Provide two sets of as-built drawings at project completion.
7. Minimize and seal penetrations of the vapor barrier caused by the electrical installation.
8. Label all panelboards, circuit breakers, junction boxes, controls, etc. Provide a revised and accurate, typed circuit directory for each panelboard.
9. The contractor shall coordinate installation and upgrade of the power, telephone and cable television services with the serving utilities and shall fully comply with their respective requirements.
10. The contractor shall coordinate with the Owner's data/cabling contractor as required for the data/cabling work. Raceway systems, where used, shall be EMT for feeder, telephone and data circuits and rigid steel for the service entrance. Schedule 80 PVC is acceptable for underground runs where permitted by the NEC. Type NM-C cable is acceptable for interior work where approved by the local authority, the Owner and the NEC. All conductors shall be copper. Conductors in raceways shall have type THW or THHN/THWN insulation for inside work and type XHHW for exterior work. Boxes shall be plastic or steel with appropriate plaster rings. All wiring devices shall be specification grade, screw connected, ivory, with matching nylon plates.
11. Provide connection to all mechanical and Owner's equipment as shown. Provide manual and magnetic starters, appropriately sized overloads and disconnect switches as shown and required.
12. Rough-in and install the lighting as shown on these drawings and as directed by the Owner. Ensure compliance with applicable codes and regulations.
13. Ensure all control devices (switches, manual pull stations, etc.) are mounted no higher than 48" above the finished floor to comply with the ADA.
14. Also ensure receptacles are mounted not less than 15" above the finished floor.

Electrical Notes



1 First Floor Electrical
1/4" = 1'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS

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Preschool Addition

Chilkat Valley Preschool

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No.	Description	Date

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First Floor Electrical

SCALE 1/4" = 1'-0"

PROJECT NO. 0506

DRAWN LWL

PROJECT STATUS 95%

DATE June, 2016



Preschool Addition

Chilkat Valley Preschool

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No.	Description	Date

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Reflected Ceiling Plan

SCALE 1/4" = 1'-0"

PROJECT NO. 0506

DRAWN LWL

PROJECT STATUS 95%

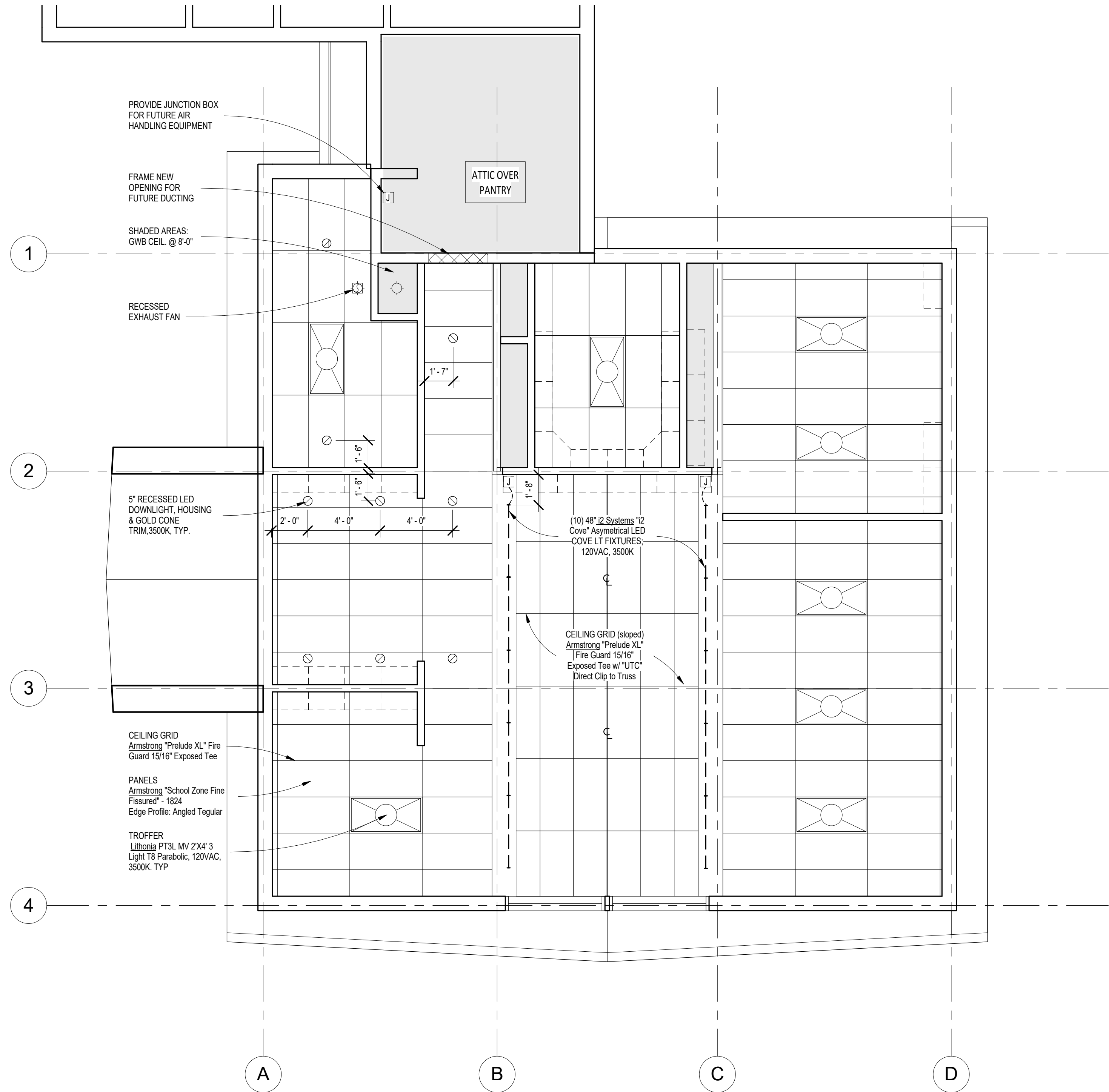
DATE June, 2016

ELECTRICAL SYMBOLS KEY	SIGNAL DEVICE SYM. KEY	ABBREVIATIONS KEY
DUPLEX RECEPTACLE	TV TV CABLE CONNECTION	AFI ARC FAULT INTERRUPTER
DUPLEX RECEPTACLE W/ MOUNTING HEIGHT	T THERMOSTAT	GFI GROUND FAULT INTERRUPTER
QUAD RECEPT. OUTLET	TELEPHONE CONNECTION	WP WEATHER PROOF
RANGE OUTLET	CH DOOR CHIMES	AFG ABOVE FINISHED GRADE
SPECIAL PURPOSE RECEPT.	D ELEC. DOOR OPENER & LIGHT	AFF ABOVE FINISHED FLOOR
DUPLEX SPECIAL PURPOSE RECEPTACLE	SS SOUND SYSTEM	LV LOW VOLTAGE
SPECIAL PURPOSE CONNECTION	PET PHOTO-ELEC. SW. W/ TIMER	UON UNLESS OTHERWISE NOTED
DW RH DISHWASHER RANGE HOOD	S SMOKE DETECTOR	PE PHOTOELECTRIC
AFI ARC FAULT RECEPTACLE	MD MOTION DETECTOR	C.O. CONDUIT ONLY
GFI GROUND FAULT RECEPT.		DCP DIMMER CONTROL PANEL
GFI WP GROUND FAULT RECEPT. WITH WATERPROOF COVER		NS NOT SWITCHED
S/D SWITCH/DUPLEX RECEPT. COMBINATION		
FDR FLOOR DUPLEX RECEPT.		
J JUNCTION BOX		
LV LOW VOLTAGE OUTLET		
S SINGLE POLE WALL SWITCH		
3S THREE-WAY SWITCH		
S WP WATER-PROOF SWITCH		
LV S LOW VOLTAGE SWITCH		
TS TIME SWITCH		
S RC REMOTE CONTROL SWITCH		
S PL SWITCH & PILOT LAMP		
S AD AUTOMATIC DOOR SWITCH		
CB CIRCUIT BREAKER		
	FM FLUSH MOUNT CEILING FIXTURE	
	RF RECESSED FIXTURE	
	WM WALL MOUNT FIXTURE	
	RFO RECESSED FAN ONLY	
	RLC REC. LIGHT/FAN COMB.	
	SIF SURFACE OR IN-LINE FAN	
	SL STRIP LIGHT	
	UC REC UNDER CABINET RECEPTACLE	
	OH CL OVERHEAD COVE LIGHT	
	TL TRACK LIGHT FIXTURE	
	PC FC PULL CHAIN FIXTURE	
	SM FF SURFACE MOUNT FLUORESCENT FIXTURE	

Electrical Symbol Key
1/4" = 1'-0"

- Provide all work as shown on the drawings and described in these notes for a complete, safe and functional installation.
- Unless otherwise noted, all material shall be of new manufacture and of the manufacturer's standard construction.
- All material shall be approved by Underwriters Laboratories (UL) and so noted.
- All work shall comply with the latest approved editions of: The National Electrical Code (NEC); The National Fire Protection Association Codes (NFPA); The International Building Code (IBC); American with Disabilities Act (ADA); All applicable Federal, State and Local regulations.
- Provide two sets of as-built drawings at project completion.
- Minimize and seal penetrations of the vapor barrier caused by the electrical installation.
- Label all panelboards, circuit breakers, junction boxes, controls, etc. Provide a revised and accurate, typed circuit directory for each panelboard.
- The contractor shall coordinate installation and upgrade of the power, telephone and cable television services with the serving utilities and shall comply with their respective requirements.
- The contractor shall coordinate with the Owner's data/cabling contractor as required for the data/cabling work. Raceway systems, where used, shall be EMT for feeder, telephone and data circuits and rigid steel for the service entrance. Schedule 80 PVC is acceptable for underground runs where permitted by the NEC. Type IMC cable is acceptable for interior work where approved by the local authority, the Owner and the NEC. All conductors shall be copper. Conductors in raceways shall have type THW or THHN/THWN insulation for inside work and type XHHW for exterior work. Boxes shall be plastic or steel with appropriate plaster rings. All wiring devices shall be specification grade, screw connected, ivory, with matching nylon plates.
- Provide connection to all mechanical and Owner's equipment as shown. Provide manual and magnetic starters, appropriately sized overloads and disconnect switches as shown and required.
- Rough-in and install the lighting as shown on these drawings and as directed by the Owner. Ensure compliance with applicable codes and regulations.
- Ensure all control devices (switches, manual pull stations, etc.) are mounted no higher than 48" above the finished floor to comply with the ADA.
- Also ensure receptacles are mounted not less than 15" above the finished floor.

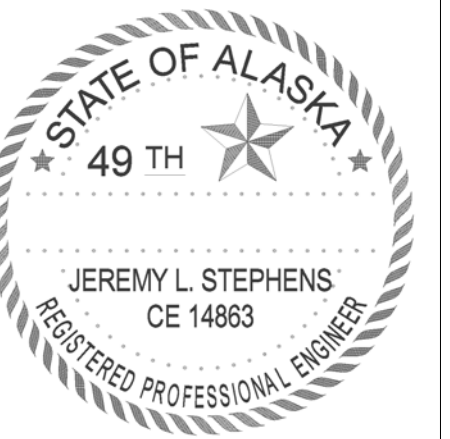
Electrical Notes
1/4" = 1'-0"



1 First Floor Addition
1/4" = 1'-0"

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS



Preschool Addition

Chilkat Valley Preschool

Enter address here

No.	Description	Date

COPYRIGHT PROTECTED CONTENT:
PROPRIETARY DESIGN AND DETAILS

Foundation Plan

SCALE	As indicated
PROJECT NO.	0506
DRAWN	LWL
PROJECT STATUS	95%
DATE	June, 2016

SO

DESIGN LOADS	P.S.F.	
	LIVE LOAD	DEAD LOAD
FLOOR	40	15
ROOF	80	12
MECHANICAL FLOORS	75	15
STAIRS & CORRIDORS	100	

2006 I.B.C. CRITERIA FOR THIS LOCALE:

EXPOSURE:	MODERATE
WIND (3 SEC. GUST):	100 M.P.H.
SEISMIC CATEGORY:	DO
DESIGN SOIL PRESSURE:	2000 PSF MAX. DEAD + LIVE LOAD
FOOTING FROST DEPTH:	MIN. 2'-6" BELOW FIN. GRADE

REINFORCED CONCRETE

FOOTINGS & STEMWALLS:
Concrete Min. 2500 PSI (28 Day Compression Strength).
Provide Water-Reducer and Air-Entrainment Admixtures.

FLOOR SLABS:

Concrete Min. 3000 PSI (28 Day Compression Strength).
4-7% Air Entrainment, 1" to 3" Slump.
Protect from temperatures below 40 degrees Fahrenheit, for 2 Weeks following pour.

REINFORCING STEEL:

Reinforcing Steel shall conform to ASTM A615, Grade 60, Unless Otherwise Noted. Lap Bars with Class B Splice.

WELDED WIRE FABRIC:

Welded Wire Fabric shall conform to ASTM A185. Furnish in Flat Sheets. Lap Edges Min. 1-1/2 Mesh Dimension.

CONCRETE COVER:

Footings & Stemwalls, 3"; Slabs, 1-1/2"

FOOTING REINFORCEMENT:

In Wall Footings, provide (2) #5 Longitudinal Bottom Bars and Corner Bars of same size and number at Corners and Intersections.

GROUT:

Grout Min. 5000 PSI, 7 Day Cube Strength per ASTM C109. Provide Premixed, Non-Shrink Grout with ICBO Certification.

ANCHOR BOLTS:

Anchor Bolts to be ASTM A307, Hot-Dipped Galvanized. Set Anchor Bolts by Template. See *Wall Bracing*.

STRUCTURAL STEEL

All Steel ASTM A36. Fabrication per AISC Specifications. Submit Shop Drawings.

Welding per AWS D1.1. Minimum size welds 3/16" continuous fillet.

Bolts per ASTM A307.

GLUE-LAMINATED TIMBER

BEAMS & GIRDERS: Visually Graded Western Species. Combination 24F-V8, unless otherwise noted. Camber Floor Beams and Roof Beams L/500 at mid-span.

COLUMNS: Visually Graded Western Species, Combination 5, U.O.N.

Fabricate all glu-lam timber per ANSI/ITC A190.1. Wet-use adhesives. Max 15% Moisture Content. Appearance: Architectural Grade, U.O.N. Use mild steel plate washers at all bolt heads and nuts bearing on wood. Treat wood bearing on or within 1" of concrete or masonry with wood preservative.

STRUCTURAL SAWN LUMBER

Lumber for structural framing to be No. 2 Hem-Fir grade or better. Moisture content in 2x lumber thickness or less, 20% Maximum.

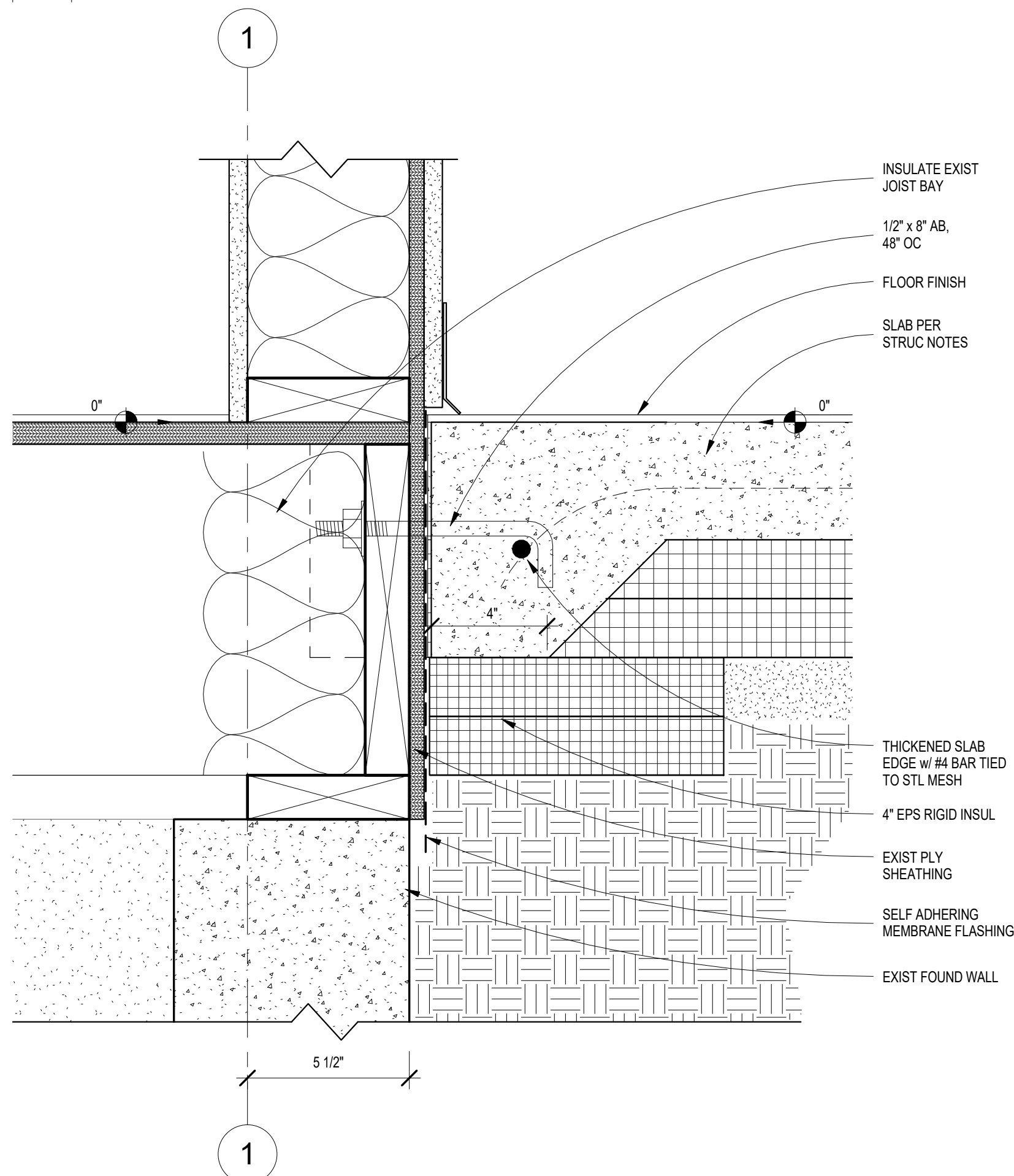
FASTENERS

Adhere to I.B.C. Section 2308 for Conventional Construction Provisions and to Table 2304.9.1 for Fastener Spacing. Use mild steel plate washers at all bolt heads and nuts bearing on wood.

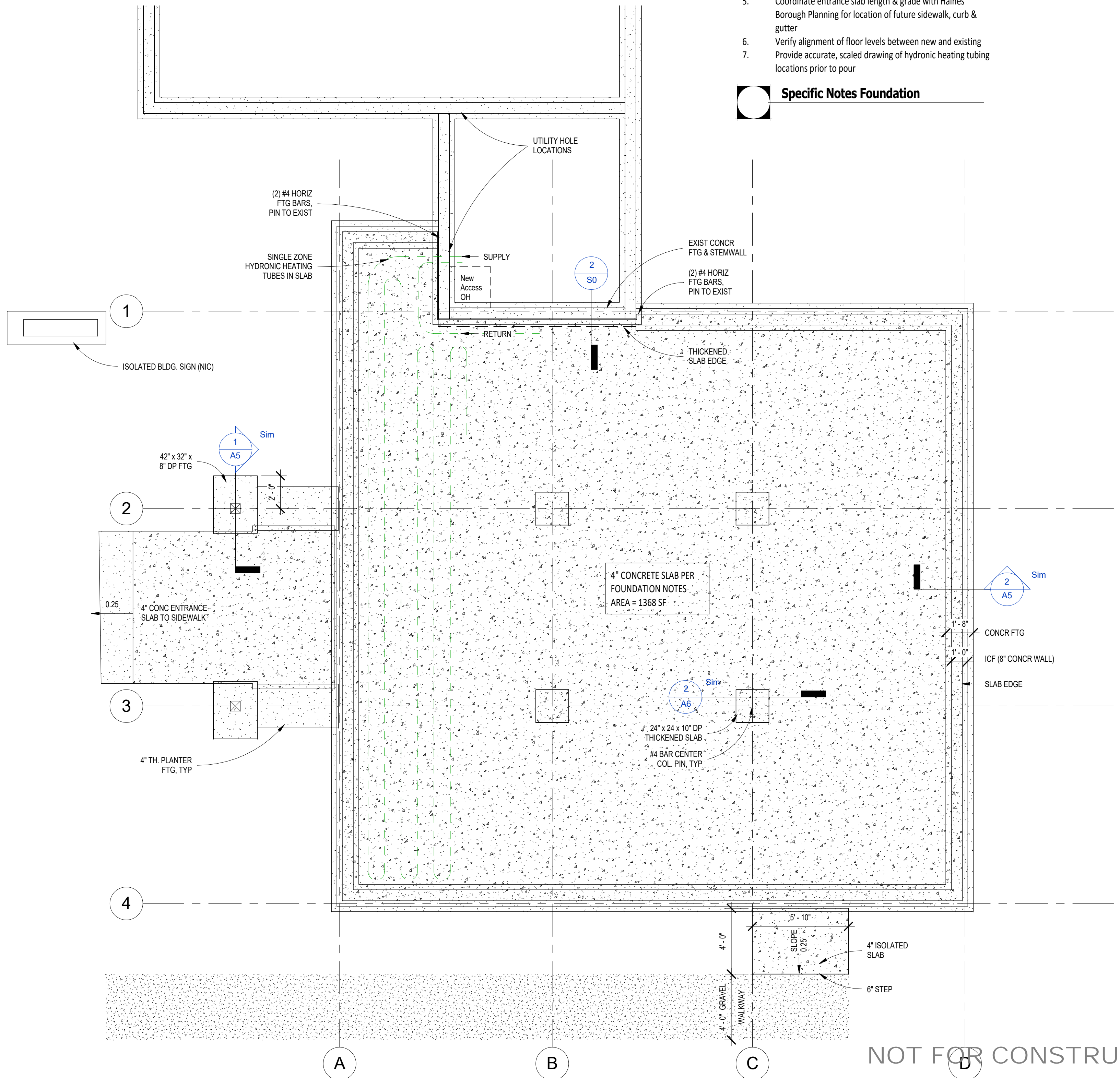
Flashing, sheet-metal, and wood fasteners exposed to ground, concrete, or weather to be stainless steel or hot-dip galvanized.

Drawings refer to Hardware and Connectors manufactured by Simpson Strong-Tie. Approved equals may be substituted.

General Structural Notes



2 DTL @ JOIN
3" = 1'-0"



1 Foundation
1/4" = 1'-0"

Notes

- Coordinate Plumbing, Electrical & Mechanical with Foundation / Slab
- Verify locations of water & waste within existing crawlspace
- Connections require drilling through existing concrete stemwall at marked locations
- Reframe existing Pantry floor at shown location & provide new access hatch to crawlspace
- Coordinate entrance slab length & grade with Haines Borough Planning for location of future sidewalk, curb & gutter
- Verify alignment of floor levels between new and existing
- Provide accurate, scaled drawing of hydronic heating tubing locations prior to pour

Specific Notes Foundation

NOT FOR CONSTRUCTION

HALF SCALE FOR 11" X 17" SHEETS

OWNERSHIP CERTIFICATE

WE HEREBY CERTIFY THAT HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

DATE 10-29-15 DATE 10-28-15
Jan Hill David Sosa
HAINES BOROUGH MAYOR HAINES BOROUGH MANAGER
P.O. BOX 1209 P.O. BOX 1209
HAINES, AK 99827 HAINES, AK 99827

NOTARY ACKNOWLEDGEMENT

UNITED STATES OF AMERICA)
S.S.
STATE OF ALASKA
THIS IS TO CERTIFY THAT ON THIS 28th DAY OF October 2015, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED:

KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Notary Public for the State of Alaska
My Commission Expires: 6/15/2019



CERTIFICATE BY THE HAINES BOROUGH

I CERTIFY THAT THIS RE-SUBDIVISION PLAT OF LOTS 1, 2, 3, & 4, PLAT NO. 2008-21; LOTS 12 THROUGH 16 AND TRACT A-2 OF PRESBYTERIAN MISSION PLAT, USS 735, AND ADDITION OF 20' UTILITY EASEMENT TO LOT 8A, PLAT NO. 2014-7, AND NOW DESCRIBED HEREON AS HAINES SCHOOL SUBDIVISION, HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDING OFFICE.

Lee Reinhardt 10-28-15
Rob Goldberg, Lee Reinhardt, Vice
HAINES BOROUGH PLANNING COMMISSION CHAIRMAN
Jan Hill 10-28-15
HAINES BOROUGH MAYOR

CERTIFICATION OF BOROUGH ASSESSOR

I HEREBY CERTIFY THAT THE APPLICANTS ARE NOT DELINQUENT ON PROPERTY TAXES FOR THE PROPERTY SPECIFIED ON THIS SUBDIVISION PLAT AS SHOWN HEREON.

10-28-15 Dean M. Olson
DATE HAINES BOROUGH ASSESSOR

SURVEYOR'S CERTIFICATE

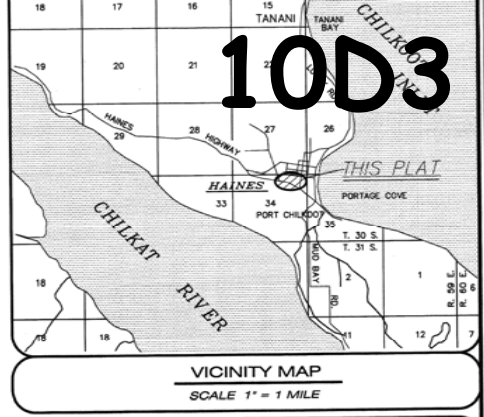
I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, ALL EASEMENTS AND RIGHTS OF WAY APPEARING ON THE LAND AS SHOWN, AND ALL MONUMENTS ARE SET IN PLACE AS NOTED UPON THIS PLAT AS REPRESENTED.

10-19-2015
DATE
Thomas M. Kirchner
15-5713



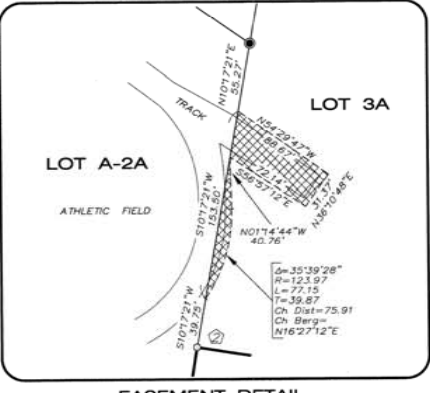
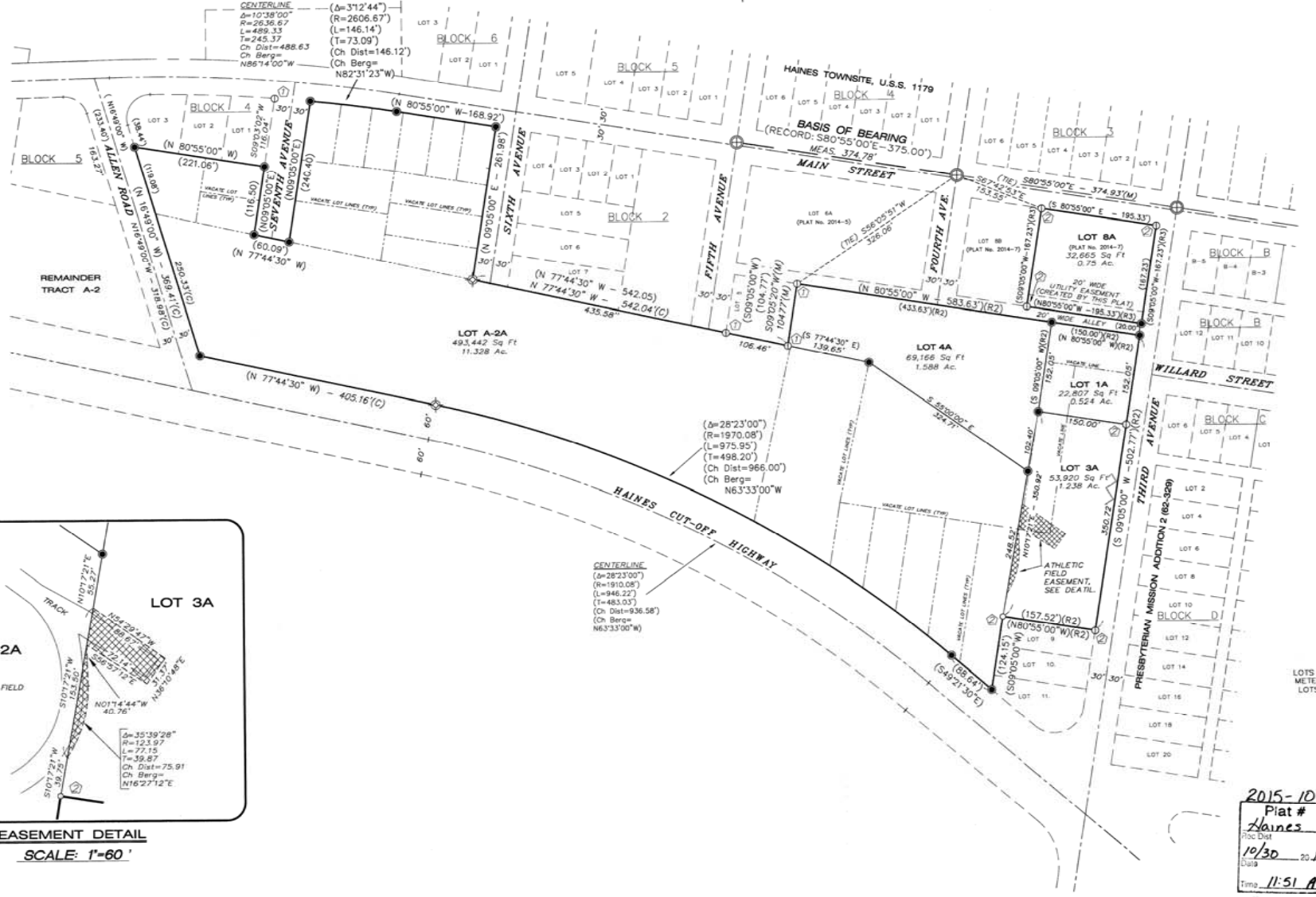
GENERAL NOTES:

- 1. THE BASIS OF BEARING FOR THIS SURVEY ARE TWO CENTERLINE BRASS CAP MONUMENTS SET IN MONUMENT WELLS LOCATED AT THE INTERSECTION OF MAIN AND FOURTH, AND AT THE INTERSECTION OF MAIN AND FIFTH AS SHOWN ON HAINES TOWNSITE PLAT NO. 2014-7, WITH A RECORDED BEARING OF N 80°55'00" W, A DISTANCE OF 375.00'. A MEASURED DISTANCE OF 374.85.
- 2. WHERE RECORD COURSES (BEARINGS AND/OR DISTANCES) DIFFER FROM THAT OF ACTUAL MEASURED OR COMPUTED COURSES, RECORD COURSE ARE SHOWN WITHIN PARENTHESIS WHILE THE ACTUAL MEASURED OR COMPUTED SURVEY COURSES ARE SHOWN WITHOUT PARENTHESIS.
- 3. ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARINGS AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
- 4. THE ACCURACY OF THIS SURVEY IS GREATER THAN 1:5,000
- 5. RECORD BEARINGS AND DISTANCES ARE FROM PLAT NO. 2014-7, 2008-21, AND 42, UNLESS OTHERWISE NOTED.
- 6. SUBJECT OF EASEMENTS AND RESTRICTIONS OF RECORD. LOTS MAY BE AFFECTED BY ENCROACHMENTS NOT DEPICTED.
- 7. THIS PLAT IS IN THE COMMERCIAL LAND USE ZONE.
- 8. LOT WITHIN THIS SUBDIVISION ARE SERVED BY THE HAINES BOROUGH MUNICIPAL WATER AND SEWER SYSTEMS.



10D3

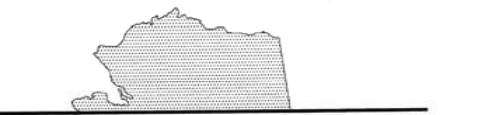
SCALE: 1" = 100'



EASEMENT DETAIL SCALE: 1" = 60'

- LEGEND**
- FOUND SURVEY MONUMENTS:**
- ⊕ FOUND PRIMARY DOT/PF CENTERLINE MONUMENT: 2" BRASS CAP ON PIPE AND SET IN MONUMENT WELL CASING.
 - Ⓢ FOUND 2" TO 2.5" ALUMINUM CAP (AC) ON 5/8" DIA. REBAR.
 - FOUND REBAR W/YELLOW PLASTIC CAP (YPC) ON 5/8" DIA. REBAR.
 - Ⓜ MONUMENT SET BY DOUGLAS FINLEY, LS-4277
 - Ⓜ MONUMENT SET BY J.W. BEAN, LS-3660
- SET SURVEY MONUMENTS:**
- SET SECONDARY MONUMENT THIS SURVEY: 2-1/2" DIA. ALUMINUM CAP ON 5/8" DIA. REBAR 30" LONG.
 - ⊕ SET 1" DIA. X 2" SURVEY MARK NAIL WITH STAINLESS STEEL WASHER.
- ROAD CENTERLINE**
PROPERTY LINE - SURVEYED BOUNDARY
PROPERTY LINE - PROPOSED LOTS
PROPERTY LINE - UNSURVEYED
PROPERTY LINE VACATED BY THIS PLAT
- (C) CALCULATED BEARING AND/OR DISTANCE
(M) MEASURED BEARING AND/OR DISTANCE
(#00-000) RECORDING OFFICE PLAT NUMBER, OR SERIAL RECORDING NUMBER FROM WHICH RECORD BEARING AND/OR DISTANCE WAS TAKEN
- (BEARING AND/OR DIST) RECORD INFORMATION PER PRESBYTERIAN MISSION PLAT, No. 42
(R1) RECORD INFORMATION PER VACATION OF LOT LINES PLAT NO. 2001-10
(R2) RECORD INFORMATION PER PRIMARY SCHOOL SUBDIVISION PLAT NO. 2008-21
(R3) RECORD INFORMATION PER RE-SUBDIVISION LOT 8, PRIMARY SCHOOL SUBDIVISION, CREATING LOTS 8A & 8B, PLAT NO. 2014-7.

OWNER: HAINES BOROUGH, P.O. BOX 1209, HAINES, AK, 99827
SURVEYOR: ALASKA LAND SURVEYING CO., L.L.C., P.O. BOX 387, 5451 N. MAVERICK DRIVE, PALMER, ALASKA 99645, 907-745-1491



A RE-SUBDIVISION PLAT OF LOTS 1 THRU 4, PRIMARY SCHOOL SUBDIVISION (PLAT NO. 2008-21); HAINES INDEPENDENT SCHOOL - METES AND BOUNDS TRACT, AND TRACT A-2, ALONG WITH THE VACATION OF LOTS 12-16, BLOCK 6; LOTS 1-11, BLOCK 3; AND LOTS 4-6, BLOCK 4, PRESBYTERIAN MISSION, U.S.S. 735 (PLAT NO. 42), INTO
HAINES SCHOOL SUBDIVISION
LOCATED WITHIN U.S. SURVEY 735
SEC 34, TOWNSHIP 30 SOUTH, RANGE 59 EAST, C.R.M.
HAINES BOROUGH - HAINES RECORDING DISTRICT - HAINES, ALASKA



2015-10
Plat # Haines
Rec Dist 10/30
Date 20 15
Time 11:51 AM



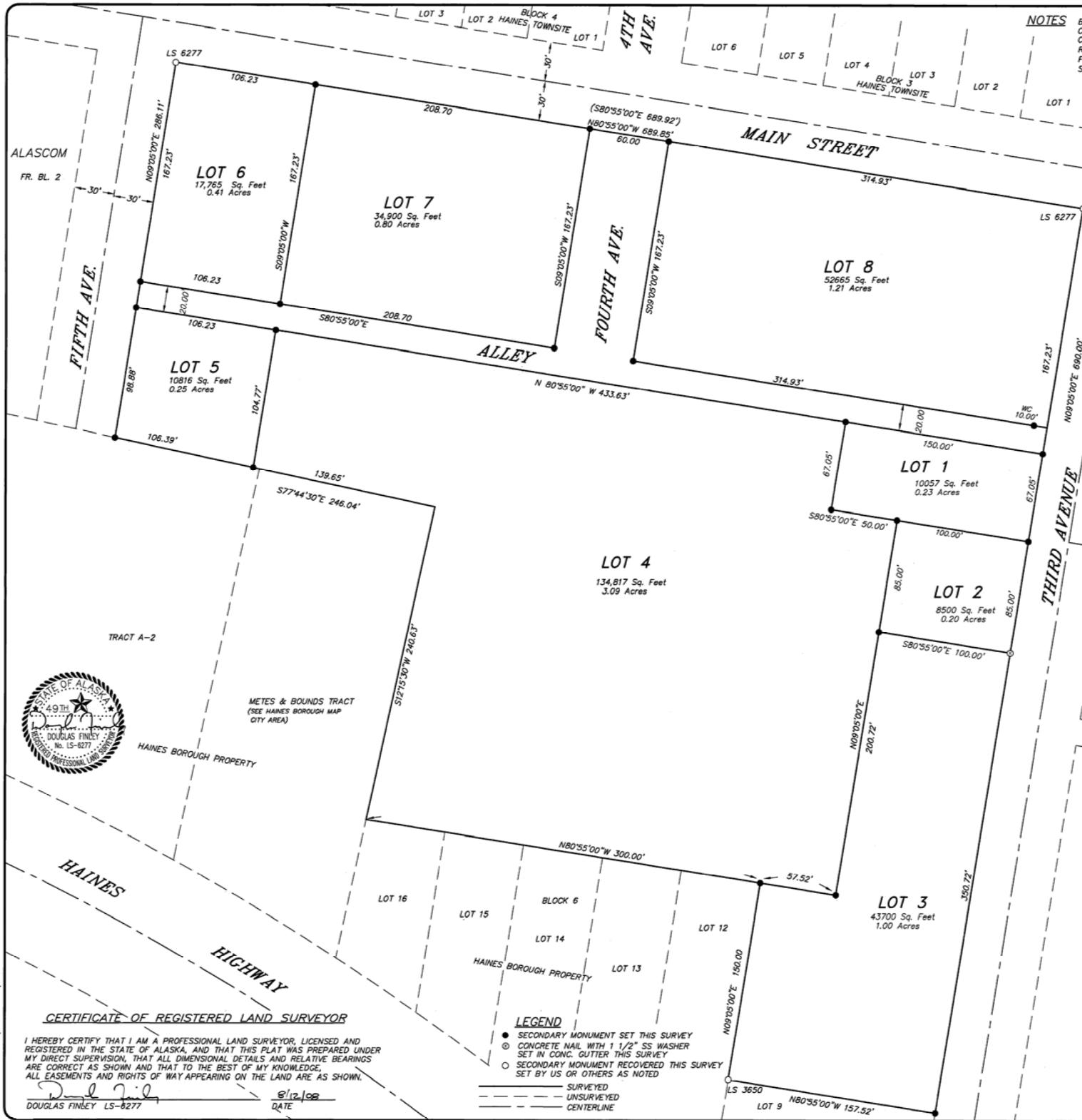
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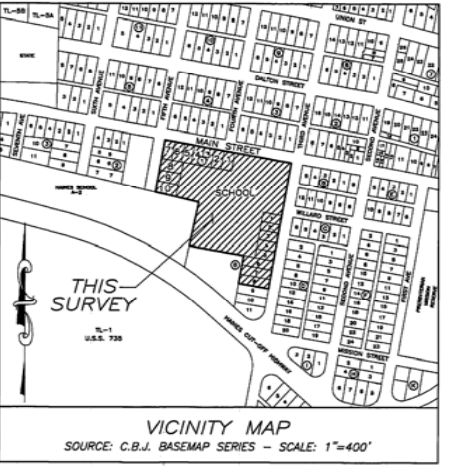
500

1,000 Feet

C:\VACLTWIN\HAINES-PRIM-SCHOOLS.DWG



NOTES
BASIS OF BEARINGS THIS SURVEY, HAINES BOROUGH MAP CENTERLINE MONUMENT AT 2ND STREET & MAIN STREET TO CENTERLINE MONUMENT AT 6TH STREET & MAIN STREET RECORD BEARING S80°55'00"E, RECORD DISTANCE 1,500' FOUND DISTANCE 1,499.97' NOTE CENTERLINE MONUMENTS IN MAIN ST ARE OFFSET 5.00' N9°05'E FROM ACTUAL CENTERLINE.
TIE TO NE COR LOT 8 FROM CL MONUMENT @ 2ND & MAIN: N85°51'18"W, 406.59'
LOT 2 OF THIS PLAT COMPRISES PROPERTY DESCRIBED IN HAINES BOOK 15 P.383
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD. LOTS MAY BE AFFECTED BY ENCUMBRANCES NOT DEPICTED HEREON.

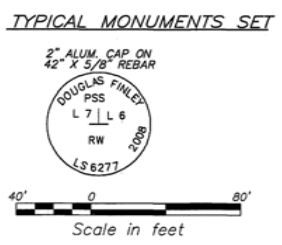


STATEMENT OF OWNERSHIP:
WE HEREBY CERTIFY THAT THE HAINES BOROUGH IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND THAT WE DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
DATE Sept. 26, 2008
Fred Shields
FRED SHIELDS
MAYOR
HAINES BOROUGH
103 THIRD AVE S.
HAINES, ALASKA 99827
LEE HEINMILLER
CHAIR, PLANNING COMMISSION
HAINES BOROUGH
103 THIRD AVE S.
HAINES, ALASKA 99827

NOTARY'S ACKNOWLEDGMENTS:
UNITED STATES OF AMERICA)
STATE OF ALASKA) S.S.
THIS IS TO CERTIFY THAT ON THIS 29th DAY OF September, 2008 BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED
Fred Shields

KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.
2008-21
Haines REC DIST
DATE Oct 15, 2008
TIME 12:37 P.M.
Requested By Haines
Address Borough
Notary Public for Alaska
Julie Cozzi
My Commission Expires
1-29-2011
JULIE COZZI
NOTARY PUBLIC
STATE OF ALASKA

CERTIFICATE BY THE HAINES BOROUGH
THE REPLAT OF LOTS 1 THRU 10, BLOCK 1, 1 THRU 8, BLOCK 6, AND HAINES INDEPENDENT SCHOOL METES AND BOUNDS TRACT, PRESBYTERIAN MISSION, PLAT NO. 42, AS DESCRIBED HEREON HAS BEEN FOUND TO COMPLY WITH THE PROVISION SET FORTH IN HC. 18.100 AND IS APPROVED FOR RECORDING WITH THE HAINES RECORDERS OFFICE DATED:
2008
Lee Heinmiller 9/26/08
LEE HEINMILLER
PLANNING COMMISSION CHAIR
DATE
Fred Shields 9/25/08
FRED SHIELDS
MAYOR
HAINES BOROUGH
DATE



CERTIFICATE OF REGISTERED LAND SURVEYOR
I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED AND REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS SHOWN AND THAT TO THE BEST OF MY KNOWLEDGE, ALL EASEMENTS AND RIGHTS OF WAY APPEARING ON THE LAND ARE AS SHOWN.
Douglas Finley 9/12/08
DOUGLAS FINLEY LS-6277 DATE

- LEGEND**
- SECONDARY MONUMENT SET THIS SURVEY
 - CONCRETE NAIL WITH 1 1/2" SS WASHER SET IN CONC. GUTTER THIS SURVEY
 - SECONDARY MONUMENT RECOVERED THIS SURVEY SET BY US OR OTHERS AS NOTED
 - SURVEYED
 - - - UNSURVEYED
 - CENTERLINE